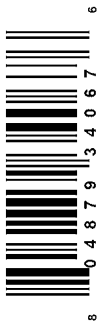


Vince Apuron | Apuron Photography



# Swimmers seek repeat of last year

Page 5

A community publication of [Copperarea.com](http://Copperarea.com)

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Published each Wednesday and distributed from the Lower  
Arcade Building, San Manuel, Arizona.

Entered as Periodicals October 26, 1954 at the post office,  
San Manuel, Arizona under the Act of Congress March 3,  
1879. Periodicals postage paid at San Manuel, Arizona.

**POSTMASTER:** Send address changes to the San Manuel  
Miner, P.O. Box 60, San Manuel, Arizona 85631-0060.

**SUBSCRIPTIONS:** \$35.50 per year in Pinal County, \$40.50  
per year elsewhere in the United States.

Member of the Arizona Newspaper Association for over  
30 years.

*Publisher.....James Carnes*  
*General Manager.....Michael Carnes*  
*Managing Editor.....Jennifer Carnes*  
*Copy Editor.....Arletta Sloan*  
*Reporter.....John Hernandez*  
*Reporter.....Mila Besich*

Signed columns and letters to the editor in this  
newspaper express the views of the individual writer,  
not necessarily the editorial views of the Miner.

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## OBITUARY

# Samuel Joe Pyritz

Samuel Joe Pyritz, 79, of San Manuel, Arizona passed away on Aug. 30, 2019. Sam was born at home on Oct. 26, 1939 in Battle Creek, Michigan to Jack and Audrey (Erwine) Pyritz. Sam joined the Marine Corps when he was 17 years old and served his country faithfully for three years and nine months. He received an honorable discharge on June 13, 1961.

After serving in the military, Sam went to work for KVP (Kalamazoo Vegetable Parchment) paper mill in Michigan. At the paper mill he met a skinny, long-legged, spunky dark-haired beauty named Joyce and after a whirlwind courtship of a legendary three weeks they were married. Sam and Joyce had a special story that set an example of a lifetime of love to their family and friends. They celebrated their 57th wedding anniversary in the hospital on Aug. 4, 2019.

In March of 1967 Sam and Joyce packed up their family to head west to the land of opportunity in San Manuel, Arizona and Magma Copper Company. The copper strike in June 1967 made the move short-lived and the Pyritz family moved back to Kalamazoo. However, Sam loved the warm weather and beautiful mountains so much that in June 1970 they headed back out west and settled in for good.

Sam was a machinist for Magma and then BHP Copper Company for 29 years to the day until his retirement at the mine closure in 1999. Sam was so skilled at this profession that he was restored to and retained his position even after losing an eye from a stroke in the summer of 1980. He enjoyed his years at BHP and the lifelong friendships that he made but he really enjoyed retirement too and spent many years golfing, traveling to Michigan for the summer months, and visiting the casinos and his kids with Joyce as his constant companion.

Sam had a unique way of drawing people close to him. He had a fun sense of humor, an easygoing disposition and an adventurous spirit. At different times in his life he loved golfing, hiking, running, camping and exploring the mountains in his sand rail and later his RZR. One of his favorite activities was taking daily walks with his beloved Schnauzer Sophie, until health problems made him stop.

Many days you could find Sam sitting on his porch enjoying the Arizona sunshine and often friends and family would join him there. He and his buddies spent many days telling tales and drinking a beer on that porch.

But Sam's greatest joy was his family and he will be forever missed, remembered, and loved by his wife, Joyce; his son, Don (Cecilia) Pyritz of San Manuel, Arizona; his daughter, Lauri (Charley) Ivy of Bagdad, Arizona; his daughter, Dr. Shelly (Avnel) Hogan of Maricopa, Arizona; and his daughter, Lynette (Johnny) Wells of Vail, Arizona; 12 grandchildren, Jacob Ivy, Heather (Jason) Brown, Chuck (Megan) Ivy, Joshua (Lyndsay) Cruce, Delora Pyritz, Mark (Lynda Barber) Cruce, Ariel Hogan, Gage (Heidy) Hogan, Wyeth (John Doty) Hogan, Connor Wells and Brian (Stephanie) and Denise Nielsen; and 11 great-grandchildren, Maya, Aiden, and Tyler Brown, Hailey and Emiley Ivy, Tyler and Kaitlyn Cruce, Lilliana Hogan, Kayla Ivy, and Rylan and Brooklyn Nielsen.

Sam was preceded in death by his great-granddaughter Cailyn Brown.

Sam was a great man, amazing husband, father, papa, and friend. He will also be loved and missed by many extended family members, friends, and neighbors as well.

Memorial services will be held on Friday, Sept. 6, at 1 p.m. at Vistoso Funeral Home, 2285 E. Rancho Vistoso Blvd., Oro Valley, AZ 85755 and a dinner will follow at 4 p.m. at the San Manuel Elks Lodge.



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## OBITUARIES

# Lorenza M. Guadiana



Lorenza M. Guadiana joined the family angels and our Lord Jesus Christ on Aug. 26, 2019 in Gilbert, Arizona. She was surrounded by her loved ones during her spiritual transition.

She is preceded in death by her husband, Ralph R. Guadiana (2011); daughter, Teresa A. Guadiana (2016); and grandson, Christopher S. Garcia (1996). She is survived by her daughter, Patricia Dame; and sons, Ralph Guadiana and Kenneth

Guadiana (Toni).

Lorenza was born in the historical copper mining town of Miami, Arizona on July 17, 1935. She married her beloved husband, Ralph Guadiana, on Aug. 7, 1954 and remained

committed and in love until his passing in 2011.

They relocated their young family to San Manuel, Arizona in the late 1950s where they raised their children and immersed themselves into the community. She retired after 25 years of service with the Mammoth-San Manuel Unified School District.

She was a devout Catholic and instrumental in the Southern Arizona Cursillo movement.

She enjoyed bowling, dancing and spending time with her children and many grandchildren. She spent a lifetime instilling values, faith and Guadiana family traditions. She was blessed with a large and loving family including four children, 15 grandchildren, 35 great-grandchildren and six great-great-grandchildren.

Please join us in memory of our beloved Mother, Grandmother, Wife and Friend. Services will be held at St. Bartholomew Catholic Church in San Manuel, AZ on Saturday, Sept. 7, 2019. Viewing will commence at 10

a.m., Rosary at 10:30 a.m. with Mass to follow. Burial services to be held at Valley View Cemetery in Mammoth, AZ.

The family has been assisted with exceptional service by Griffith Mortuary, Kearny, AZ.

# Norma Williams



Norma Williams passed from this world unexpectedly Aug. 27, 2019. Norma was born to Manuel D. and Luisa Rios Dec. 2, 1952.

Norma is preceded in death by her father, Manuel D. Rios. She is survived by her mother, Luisa Rios; husband, Carlos M. Williams; daughters, Katrina Williams and Stacey Williams; sisters, Alice (Kent) Craig and Pat Rios; nephew, Seth Craig; and niece, Shawna Craig.

Norma was loved by all who knew her. She will be remembered for her enormous generosity, boundless

kindness to all living beings and her keen sense of humor.

Norma was an avid University of Arizona Wildcat basketball fan. We looked forward to our annual PAC-12 basketball tournament trip. Norma always came back with many stories to share of our adventures. There was no better storyteller than Norma. Norma's endearing personality earned her new friendships everywhere she went.

Rest in peace, Norma; you will be greatly missed by all who had the good fortune to know you. BEAR DOWN!

Obituaries are published free of charge in the San Manuel Miner. If you have an obituary you would like us to print, please submit it online at copperarea.com. Click on "Customer Service". You can also request our newspaper through the mortuary or funeral home.

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## UPCOMING SHOWS

### ARETHA - The Queen of Soul

**Saturday, September 14 • 7:30pm • Tickets \$30**

Charity Lockhart stars in this spectacular homage to one of the greatest female vocalists of all time, Aretha Franklin. A stunning concert featuring a spectacular 10-piece band.

### The 4Gents - At The Hop!

**Wednesday, September 25 • 7:30pm • Tickets \$30**

Relive the days of doo-wop & early rock and roll with these handsome crooners! It's hit after chart-topping hit complete with all the charisma, charm, & signature tight harmonies of these 50s & 60s classics.

### The Troubadour Experience

**Saturday, October 12 • 7:30pm • Tickets \$30**

A tribute to George Strait featuring all the #1 hits. From the moment the first sounds of fiddle & steel guitar kick off *Deep In The Heart Of Texas* you know this is the real deal & you are in for a treat!

### She Loves Me - The Musical

**Wednesday, October 16 • 7:00pm • Tickets \$30**

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## Preliminary work for US 60 Pinto Creek Bridge to begin Sept. 3

The Arizona Department of Transportation is scheduled to begin preliminary work on the US 60 Pinto Creek Bridge replacement project, between Miami and Superior, on Tuesday, Sept. 3.

Lane restrictions will be in place 7 a.m. to 3 p.m. while crews remove guardrails, re-stripe the road near the bridge and place temporary concrete barriers.

Flaggers and pilot cars will be directing traffic. Drivers should plan for delays.

Full closures of US 60 are tentatively scheduled to begin in late September between 9 a.m. and 1 p.m. on Tuesdays and Thursdays.

The overall project involves constructing a new bridge adjacent to the existing bridge, and then removing the existing

bridge. The project is expected to take about two years.

For more information, go to [azdot.gov/PintoCreekBridge](http://azdot.gov/PintoCreekBridge).

Drivers should proceed through the work zone with caution, slow down and watch for construction personnel and equipment.

Schedules are subject to change based on weather and other unforeseen factors. For more information, please call the ADOT Bilingual Project Information Line at 855.712.8530 or go to [azdot.gov/contact](http://azdot.gov/contact) and select Projects from the drop-down menu. For real-time highway conditions statewide, visit ADOT's Traveler Information Site at [www.az511.gov](http://www.az511.gov), follow ADOT on Twitter (@ArizonaDOT) or call 511, except while driving.



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# Small but mighty, the SMHS swim team looks for a repeat of last year

The Miner Swim Team is practicing at the Mammoth Pool again this year while the San Manuel Pool awaits repairs. The team has had many good practices both in the pool and in the weight room. The team is in shape and ready for competition on Thursday.

The Girls Swim Team comes off an eight-win season in 2018 and hopes to continue its winning ways in 2019. Senior BaiLee Hill is a three-year letter earner who brings back experience in all events. In the past BaiLee's strengths have been in Distance Freestyle and Backstroke, but her hard work in all the strokes now make her the complete all-around swimmer. Junior Alyssa Riekofski enters the season much stronger and is swimming faster than she finished the season last year. Alyssa's Backstroke is showing great improvement this year. Sophomore Marialena Molina is new to competitive swimming and has shown incredible improvement in practice over the last few weeks. Coaches are confident that Marialena will have an outstanding first year of swimming and will be an outstanding

contributor to the swim team.

The Boys Swim Team comes off a nine-win season in 2018. Junior Evan Apuron returns as defending State Champion in the 100 yard Butterfly and Bronze Medalist in the 100 yard Breaststroke. Evan is taller, stronger and is swimming even faster this year. This makes him the swimmer everyone will be keeping an eye on. Sophomore Hunter Hill had an outstanding season as a freshman and earned the opportunity to swim in a relay at the State Championship Meet last year. This season he shows great potential, and with enough hard work could find himself competing in an individual event at the State Championship meet in November.

Head Coach Alex Gort has high expectations for the team.

"This is a small team where every swimmer can get personalized coaching," Gort said. "I am excited to see how much each swimmer will improve during the season."

The Miners first meet of the season is against Palo Verde on Thursday, Sept. 5, at the Terra Del Sol Pool at 4 p.m. Go Miners!



San Manuel Swimming Team.

Photo Courtesy Apuron Photography



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**Booster Photos**  
by Margaret Schofield  
Courtesy  
San Manuel High School



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# San Manuel vs. Tombstone

Friday, Sept. 6, Home at 7 p.m.

## “Salute to Service”

Football 2019

### SMHS Varsity Football Schedule & Record

(Bold Face Denotes Home Games)

San Manuel 7, Yuma Catholic 62	Oct. 4	Chandler Prep (Homecoming)
San Manuel 6, Benson 54	Oct. 12	Tempe Prep
<b>Sept. 6 Tombstone (Salute to Service)</b>	<b>Oct. 18</b>	<b>Globe (Breast Cancer Awareness)</b>
Sept. 20 Willcox	Oct. 25	Miami (Senior Night)
Sept. 27 Santa Rita	Nov. 1	San Carlos

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Every home football game Fridays there will be a tailgate party from 3:15-5 p.m. in the football field dirt lot. There will be music, games and food.

**Need SMHS gear?**

Visit the school's new online store at  
<http://bit.ly/SMHSGear>

# Hayden Senior Center receives much needed support

Earlier this year Supervisor Pete Rios emphasized the importance of passing an amendment to the Pinal County budget that would greatly benefit Hayden's Senior Center.

"The senior citizen center was on the chopping block. So when I heard they were going to close I did go and address a work session of the town council and wanted to see what their plans were and they indicted basically that they don't have the resources," explained Supervisor Rios.

As Supervisor Rios has stated in the past "It's important to take care of our greatest generation, our senior citizens who built this country. We must ensure their safety, health and well-being."

The Hayden Senior Center has the responsibility of providing food services to both the homebound and Senior Center for the entire Copper Corridor. The service area includes the communities of Oracle, Kearny, Superior, Mammoth, San Manuel, Dudleyville,

Hayden, Winkelman and all places in between.

County Manager Greg Stanley specified that a majority of the seniors utilizing this center are from Pinal County.

The motion was passed unanimously and Supervisor Rios delivered the funds to the Hayden Senior Center last week. These funds will help to defray many of the costs for the Senior Food Program.

"I wish to thank Supervisor Rios and the Pinal County Board of Supervisors for their generous donation of \$20,000.00 in addition to the normal annual donation of \$20,000.00. We, as a council, the citizens of Hayden, and citizens of the surrounding areas who utilize the services of the Hayden Senior Center are grateful for the donation in a time of need. Without this funding, it was likely the Senior Center would not be operating at its current capacity. Again, thank you very much for this much needed donation," said Hayden Mayor Dean Hetrick.



Supervisor Rios presents a check to Mayor Dean Hetrick and Center Director Annie Hinojos.

## TRI-COMMUNITY CHURCH DIRECTORY

### First Baptist Church

103 W. Galiuro, Mammoth

**Pastor Joe Ventimiglia**  
520-405-0510

Sunday School – 9 a.m. • Sunday Worship – 10 a.m.  
Prayer Meeting Wednesday – 5:30 p.m.  
Movie Night Last Friday of the Month – 7 p.m.

**"The Church on the Hill"**

### Assembly of God

1145 Robles Rd., Oracle

**Pastor Nathan Hogan**

Sunday School 9:30 a.m.  
Morning Worship 10:30 a.m.  
Evening Service 6 p.m.  
Wednesday Evening 6 p.m.

### Oracle Church of Christ

2425 El Paseo, Oracle

**Richard Ferris**  
520-818-6554

Sunday Bible Study 10 a.m.  
Sunday Worship 11 a.m.

### Church of Jesus Christ of Latter-day Saints

San Manuel Ward • 101 S. Giffen Ave.

**Bishop Will Ramsey**  
520-385-4866

Sunday Morning Meetings:  
Sacrament 10 a.m. • Bible Study 11 a.m.  
Priesthood, Relief Society Noon

### First Baptist Church

1st & Nichols, San Manuel

**Pastor Kevin Duncan**  
385-4655

Sunday Bible Study 9:45 a.m. • Worship 11 a.m.  
Sunday Evening Discipleship 5 p.m.  
Sunday Evening Worship 6 p.m.  
Wednesday Prayer Meeting 6 p.m.

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Lunes: Servicio de Oracion 6:30 p.m.  
Miercoles: Estudio Biblico 6:30 p.m.

### Oracle Union Church

705 E. American Ave., Oracle

**Pastor Dr. Ed Nelson**  
520-784-1868

Sunday Bible Study 9 a.m.  
Worship Service 10:30 a.m.  
Wednesday Bible Study 11 a.m.  
Thursday Prayer Time 11 a.m. to Noon

### San Pedro Valley Baptist Church

Dudleyville Road, Dudleyville

**Pastor Anthony DaCunha**  
520-357-7353

Sunday School 9:45 a.m. • Morning Worship 11 a.m.  
Evening Service 6 p.m.  
Wednesday Prayer Meeting 7 p.m.

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Domingo 1 p.m.  
Miércoles Oración 6:30 p.m.

### Pathway of Hope Foursquare Church

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### Full Gospel Church of God

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### Oracle Seventh-Day Adventist Church

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**Pastor Rick Roy**

Saturday Sabbath School 9:30 a.m.  
Saturday Worship Service 11 a.m.

### Community Presbyterian Church

McNab & First Ave., San Manuel

**Rev. Jeff Dixon**  
385-2341

Sunday Morning Service 11 a.m.

### Vista Church – San Manuel

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# QUE PASA

## COMMUNITY CALENDAR

### SEPTEMBER

#### 7 3-on-3 Basketball Tournament

On Saturday, Sept. 7 a double elimination 3-on-3 Basketball Tournament will be held for youth in grades 3-8 and 9-12. Registration begins at 10 a.m., play at 11 a.m. at the Hayden Junior High School Gymnasium. Cost is \$10 per player/ up to four players. Parents must be present for registration with proof of insurance. Call or text DJ at 480-518-6401 or Laura at 928-200-0426.



#### 14 Fiesta Golf Tournament

The 3-person Scramble Fiesta Golf Tournament, sponsored by Hayden Golf Club, is scheduled to be held during the September Fiestas planned at the Ramadas at the Hayden Garms Park on Saturday, Sept 14. Tee time: 9 a.m. Shotgun Start. Special Events: Longest Drive, Longest Putt, Closest to Pin, Money Hole, and Skins. Fee: \$40 per person. Skins: \$5 Money Hole: \$5. Carts are limited, so please call Town of Hayden at 520-356-7801 to reserve one a.s.a.p. Breakfast, hamburgers, burros and beverages will be sold during the tournament. Various vendors will have booths, music, food, games (Cornhole, Horseshoe & more) and activities will be held for everyone at the park area during this day of fiestas. Please come support and enjoy a day of fun. For more information, contact Bony Cruz 928-961-0529 ; Chito Guzman 520-444-4552; Carlos Garcia 928-812-0710; Pee Wee Lorona 520-331-9236.



#### 21 Citizens On Patrol Meeting

Learn how you can assist your neighborhood in crime prevention by acting as additional "eyes and ears" for the Pinal County Sheriff's Office! PCSO will be hosting an informational meeting about the Citizens On Patrol (COP) Program for San Manuel residents at the sheriff's substation on Veteran's Hwy. on Saturday, Sept. 21, 10 a.m. to noon. There will be a COP car and other COP volunteers, as well as representatives of the program at this meeting. For more information about this program, visit: [www.pcsocop.com/home/home.php](http://www.pcsocop.com/home/home.php)



#### 25 Eagle One Veteran Outreach to Visit

The Eagle One Veteran Outreach Center will be at the Oracle Fire Department on Thursday, Sept. 25, from 10 a.m. to 2 p.m. Eagle One provides veterans a place to learn about and apply for all services available to them. Visit them online at [hohp4heroes.org](http://hohp4heroes.org).

### OCTOBER



#### 12 Oracle Public Library Used Book Sale

The Oracle Public Library Fall Used Book Sale will be held on Saturday, Oct. 12, from 9 a.m. - 3 p.m. at the library, located at 565 E American Ave, Oracle, AZ 85623. Thousands of books will be available including paperbacks and hardbacks, fiction and nonfiction, children's books, audio books, and DVDs. The famous \$5-a-bag sale will be from 2-3 p.m. The library will provide the bag and you can fill it up with as many books as you can. Stock up for your winter reading! Call 520-896-2121 for information.

#### 19 Mammoth Fall Family Fiesta

The Town of Mammoth is hosting its 2019 2nd Annual Fall Family Fiesta, on Saturday, October 19, from noon - midnight at the lower ballfield on Bluebird Ave. and Main St. in downtown Mammoth. Come enjoy spending time with us and your families during this free event.

## ON THE AGENDA

**TRIAD & AMBASSADOR PROGRAM:** The Oracle Fire Department hosts TRIAD and AMBASSADOR program meetings the first Wednesday of each month at 3 p.m.

**VETERANS OF FOREIGN WARS:** VFW Post 2767 will be having a meeting at the San Manuel Elks on the first Thursday of each month, starting at 6 pm.

**OWN ORACLE:** OWN Oracle meets the first Friday of the month at the Oracle Community Center at 8 a.m. Mike Weasner will attend and update the membership on Oracle's bid to become a Dark Sky Community. OWN Oracle invites local people to join them every month for a breakfast meeting in Oracle. For reservations or more information, please email [oraclewomensnetwork@gmail.com](mailto:oraclewomensnetwork@gmail.com).

**MAMMOTH SAN MANUEL SCHOOL BOARD:** The MSM School Board meets the second Tuesday each month at 6:30 p.m. at the MSM District office. Please contact the District office at 385- 2337 for more information.

**SAN MANUEL ELKS LODGE:** Regular Elks Lodge meetings are held on the 2nd and 4th Tuesday at 7 p.m. each month with the following exceptions: July and August (only 1 meeting) on the 4th Tuesday of those months; December (Only 1 meeting) on the 2nd Tuesday of the month. Anyone interested in joining the Elks Lodge can call the club at 520-385-4041 or stop by the Lounge after 5 p.m. Tuesday through Sunday.

**SAN PEDRO VALLEY LIONS CLUB BINGO:** Bingo at the San Pedro Valley Lions Club is held every Wednesday, beginning at 7 p.m. The kitchen serves food from 5-8:30 p.m. Come in and see what's going on. The Lions Club is located on Main Street in Mammoth.

**SAN PEDRO VALLEY NEEDLE GROUP:** The needle group meets every Thursday at the Lion's Club in Mammoth. We meet from 10-12. We are ladies who enjoy crocheting, knitting and crafting in general. Please join us and bring your project. We also have a sewing machine to use at the Club. We work on projects which we donate to various organizations, also. For more information, call 520-487-2877.

**SAN MANUEL SENIOR CENTER:** Our September schedule is: Cards are played every Wednesday at 12:30 p.m. We are resuming pot luck dinners the second Thursday of the month at 5 p.m. Bring your service and a dish to pass. Come on down to the center Sept. 12 for some good eats. Board meetings are held at 5 p.m. the third Thursday of the month. Come to the San Manuel Senior Center, 210 Avenue A for fun times. Information can be had by checking our Facebook page or calling Hazel Cooper 520-385-4586. Dues of \$15 are due Sept. 1. Seniors age 50 plus are welcome to join us.

# McGuire announces campaign for CD 1 seat

Barbara McGuire, former successful state legislator, last week announced her candidacy for US House of Representatives CD 1. Barbara is the daughter of an engineer. Her mother comes from an agriculture background, and management in the hospitality industry. Sen. McGuire attributes her inspiration and guiding values from her father, a Lt. Cmdr World War II Navy pilot. Barbara is married to her husband of 49 years. Together they have a son, a daughter and four grandchildren.

“After having served as a State Senator and State Representative for nearly a decade, I am ready to put my experience to work on strengthening our economy’s sustainability, and on water and conservation issues, improving infrastructure, including WiFi in rural and remote areas, military readiness, veterans issues, senior and family concerns, rural affairs, affordable quality health care and education, including technical education, and making the Federal government more

efficient and responsive. These are among my top concerns for Arizona and the nation. The residents of Congressional District 1 deserve a representative who is a lifelong native Arizonan and understands the unique needs of our communities. Our future and the future of our children and grandchildren depends on the representation we choose. They deserve someone who will fight every day to create jobs, address their issues, uphold their values, and preserve our diverse cultures. I am a common sense consensus building Democrat who believes in bringing everyone to the table for the best solutions,” said Senator Barbara McGuire.

McGuire is a former businesswoman with decades of service to rural Arizona communities. Senator McGuire has served as a Chamber of Commerce vice president, volunteer Salvation Army rural unit director, a WNRCD conservation board member, a Farm Bureau member, Ladies Auxiliary VFW

member, honorary Major-Civil Air Patrol, Copper Basin Sportsmen’s Club, NRA and Sheriff’s Posse member. She has also had the pleasure of working for a school district and serving on the Inter-Agency Council on Long Term Care. Barbara’s previous endorsements include farmers, ranchers, doctors, nurses, union members, teachers, retirees, those in public safety, and more.

Sen. Barbara McGuire known as an effective advocate for rural Arizona, was appointed Rural Liaison by her Senate caucus. McGuire was also a member of the Latino caucus. Barbara fought for CPR to be taught in schools and received the outstanding Legislator of the year award from the American Heart and Stroke association. Her bills were signed into law by both Republican and Democratic Governors. Some key notable McGuire legislation was, prohibition of wild cat dumping, infrastructure issues for Native American tribes, county island sanitation

districts, education funding, jobs, increase of University Extension funds. Sen. McGuire fought for one of the largest (NIH) grants in Arizona history, \$43.3 million dollars to revolutionize health care through precision medicine. Barbara particularly enjoyed helping many veterans connect with case workers for the first time to successfully address their needs. Senator McGuire was given a 100 percent rating from Children’s Action Alliance for voting favorably on children’s issues.

“CD 1 is the 10th largest district in our nation and covers mainly the rural areas of northern and eastern Arizona. I have lived in the heart of congressional district one for 65 years. While in the state legislature I was honored to proudly represent the heart of CD 1, which consists of portions of Pinal County, Gila County and Native American Tribes. I look forward to putting my expertise to work to address the needs and issues for all of CD 1” said Senator Barbara McGuire.

## Public Notice

### ARTICLES OF ORGANIZATION OF LAS PALOMAS CORDOBA 103 LLC

The undersigned, for the purpose of forming a limited liability company to promote, acquire, own, manage, develop, operate, lease, or sell residential real estate in Mexico, and to do any lawful act concerning any and all lawful business other than banking or insurance for which a limited liability company may be organized under the laws of the State of Arizona and pursuant to A.R.S. § 29-632, states as follows: 1. The name of the limited liability company is LAS PALOMAS CORDOBA 103 LLC (the “Company”). 2. The address of the registered office of the Company is: 1396 E. Emilie Circle Oracle, AZ 85623 (Street Address) P.O. Box 8282 Tucson, AZ 85738 (Mailing Address) 3. The name and address of the agent for service of process is: Gregg Vinson 1396 E. Emilie Circle Oracle, AZ 85623 (Street Address) Gregg Vinson P.O. Box 8282 Tucson, AZ 85738 (Mailing Address) 4. The purpose of the Company is solely as a title-holding company for vacation property in Mexico and any activities to such property. 5. The latest date of which the Company is to dissolve is: Perpetual. 6. The management of the Company shall be vested in a manager. 7. The name and address for the manager(s) of the Company at the time of its formation is: Gregg Vinson Street Address: 1396 E. Emilie Circle Oracle, AZ 85623 Mailing Address: P.O. Box 8282 Tucson, AZ 85738 8. The name and address of each member of the Company are: Gregg Vinson 100% ownership Street Address: 1396 E. Emilie Circle Oracle, AZ 85623 Mailing Address: P.O. Box 8282 Tucson, AZ 85738 9. The Company shall have in addition to all powers and rights granted to limited liability companies under the Arizona Revised Statutes, the power and authority to indemnify a member, manager, employee, officer, or agent, or any other person, to the fullest extent permitted by law. The person signing below declares and certifies under penalty of perjury that the information contained within this document, together with any attachments, is true and correct, and is submitted in compliance with Arizona law. DATED this 8/6/2019. /s/ Gregg Vinson, Organizer 8/28, 9/4, 9/11/19 CNS-3286180# SAN MANUEL MINER MINER Legal 8/28/19, 9/4/19, 9/11/19

## Public Notice

### CM# 190629 Notice of Trustee’s Sale

The following legally described trust property will be sold pursuant to the power of sale under that certain Deed of Trust dated July 13, 2007, and recorded on July 20, 2007, at Sequence Number 2007-083600, records of Pinal County, Arizona, NOTICE! IF YOU BELIEVE THERE IS A DEFENSE TO THE TRUSTEE SALE OR IF YOU HAVE AN OBJECTION TO THE TRUSTEE SALE, YOU MUST FILE AN ACTION AND OBTAIN A COURT ORDER PURSUANT TO RULE 65, ARIZONA RULES OF CIVIL PROCEDURE, STOPPING THE SALE NO LATER THAT 5:00 P.M. MOUNTAIN STANDARD TIME OF THE LAST BUSINESS DAY BEFORE THE SCHEDULED DATE OF THE SALE, OR YOU MAY HAVE WAIVED ANY DEFENSES OR OBJECTIONS TO THE SALE. UNLESS YOU OBTAIN AN ORDER, THE SALE WILL BE FINAL AND WILL OCCUR at public auction, to the highest bidder, at the main entrance to the Superior Court Building, 971 N. Jason Lopez Circle, Building A, Florence, Pinal County, Arizona, on November 21, 2019, at 11:30 o’clock a.m. of said day: See attached Exhibit A. Street Address, If Any, Or Identifiable Location Of Trust Property: Vacant land located approximately 50 feet South of East Madelyn Lane and approximately 1,650 feet West of South Galena Drive, in or near that town of Marana, Pinal County, Arizona Assessor’s Parcel Number: 410-16-131B Original Principal Balance: \$19,000.00 Beneficiary (current): Name: Commerce Bank of Arizona Address: Main Office 3805 E. Broadway Boulevard Tucson, AZ 85716 Original Trustor: Name: Mehrdad Z. Rouhani and Roxana Rouhani, husband and wife Address: 10320 W. Oak Knoll Lane Tucson, AZ 85737 Successor Trustee: Name: Steven J. Itkin Address: DeConcini McDonald Yetwin & Lacy, P.C. 2525 East Broadway Blvd., Suite 200 Tucson, AZ 85716 Telephone: 520-322-5000 Fax: 520-322-5585 Email: sitkin@dmyl.com Dated this 19th day of August, 2019. /s/ Steven J. Itkin, Successor Trustee Manner of Trustee Qualification: A Member of the State Bar of Arizona Pursuant to A.R.S. § 33-803(A)(2) Name of Trustee’s Regulator: State Bar of Arizona (State Of Arizona ) ss. County Of Pima ) The foregoing instrument was acknowledged before me this 19th day of August, 2019, by Steven J. Itkin, as Successor Trustee and not individually. (Seal) /s/ Sharon A. Eichhorst Notary Public My Comm. Exp. Dec. 2, 2020 If the Trustee is unable to convey title for any reason, the successful bidder’s sole and exclusive remedy shall be the return of monies paid to the Trustee, and the successful bidder shall have no further recourse. If you have previously been discharged through bankruptcy, you may have been released of personal liability for this loan in which case this letter is intended to exercise the note holder’s rights against the real property only. This Office Is Attempting To Collect A Debt And Any Information Obtained Will Be Used For That Purpose. As required by law, you are hereby notified that a negative credit report reflecting on your credit record may be submitted to a credit reporting agency if you fail to fulfill the terms of your credit obligations. Exhibit A Legal Description The Land Referred To Herein Below Is Situated In The County Of Pinal, State Of Arizona, And Is Described As Follows: Parcel S-2, of Record of Survey, recorded in Book 18 of Surveys, Page 284, being situated in the Northeast quarter of Section 15, Township 10 South, Range 11 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona, more particularly described as follows: Commencing at the East quarter corner of Section 15, Township 10 South, Range 11 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona; Thence South 89 degrees 55 minutes 59 seconds West along the South line of the Northeast quarter of said Section 15, a distance of 1612.43 feet; Thence North 00 degrees 01 minutes 29 seconds West, a distance of 522.32 feet to the True Point Of Beginning; Thence South 89 degrees 49 minutes 35 seconds West, a distance of 242.99 feet; Thence North 00 degrees 01 minutes 29 seconds West, a distance of 224.10 feet; Thence North 89 degrees 49 minutes 35 seconds East, a distance of 242.99 feet; Thence South 00 degrees 01 minutes 29 seconds East, a distance of 224.10 feet to the True Point Of Beginning. Except Therefrom, all coal, oil, gas and other mineral deposits as reserved in Patent recorded in Book 59, Page 247 of Deeds.

MINER Legal 8/28/19, 9/4/19, 9/11/19, 9/18/19

## Public Notice

### ALIAS SUMMONS CASE NO. S’1100CV201901180

IN THE SUPERIOR COURT OF THE STATE OF ARIZONA IN AND FOR THE COUNTY OF PINAL ERIC JEFFERSON, a married man, Plaintiff, vs. VAQUEROS CARNE ASADA INCORPORATED; JOHN and JANE DOES I-X; ABC Corporations, XYZ Partnerships, Defendants. THE STATE OF ARIZONA to the above-named Defendants: TO: Vaqueros Carne Asada Incorporated C/O Jose G. Isais 6505 S. 67th Dr Laveen, AZ 85339 I. A Lawsuit has been filed against you. II. If you do not want a Judgment taken against you for the relief demanded in the accompanying Complaint, you must file a Response in writing in the Office of the Clerk of the Superior Court, 201 West Jefferson, Phoenix, Arizona, 85003, accompanied by the necessary filing fee. A Copy of the Response must also be mailed to the plaintiff/attorney whose name appears below: Shawn J. Dow, Esq. Pincus & Associates, PC 2133 East Warner Rd., Suite 101 Tempe, Arizona 85284 III. The Response must be filed within TWENTY DAYS, exclusive of the date of service, if served within the State of Arizona, or within THIRTY DAYS, exclusive of the date of service, if served outside the State of Arizona. IV. If service is made by publication, a copy of the Complaint and other papers filed in this matter may be obtained from the Clerk of this Court whose address is as follows: Clerk of the Superior Court, 201 West Jefferson, Phoenix, Arizona, 85003. V. This is a legal document. If you do not understand its consequences, you should seek the advice of an attorney. REQUESTS FOR REASONABLE ACCOMMODATION FOR PERSONS WITH DISABILITIES MUST BE MADE TO THE COURT BY PARTIES AT LEAST 3 WORKING DAYS IN ADVANCE OF A SCHEDULED COURT PROCEEDING WITNESS My hand and the Seal of the Superior Court DATED: August 9, 2019 CLERK OF THE SUPERIOR COURT BY: EMariscal Deputy Clerk 8/28, 9/4, 9/11, 9/18/19 CNS-3286158# SAN MANUEL MINER MINER Legal 8/28/19, 9/4/19, 9/11/19, 9/18/19

## Public Notice

### TOWN OF KEARNY CALL FOR BIDS

1. Bids. The Town of Kearny will receive sealed Bids at the Town of Kearny , Town Hall, 912-C Tilbury Drive, Kearny, Arizona, 85137, telephone number, 520-363-5547, or questions for aflores@townofkearny.com, until 5:00 p.m., MST on Tuesday, September 17, 2019, when all Bids that have been duly received will be opened publicly. The project includes, but not necessarily limited to the following items of work: 105 acres of mechanical clearing of salt cedar in Kearny, Arizona. All six parcels are contiguous and treatment areas are located near the Gila River, but outside the active river channel. Treatment areas will occur on areas of dry sand, not in saturated soil. The overall scope of work of the project is to conduct mechanical fuels reduction treatments on six Town of Kearny parcels. Parcels range in size from just over 5 acres to 46 acres. Typical fuels on these parcels are mostly composed of native mesquite and non-native salt cedar along the Gila River floodplain.

Mechanical treatment will be grubbing done by using a dozer or front-end loader to uproot and push salt cedar trees out of the ground. Mastication will be done by machine, with a grinder implement to break up the trees and roots into mulch. The contractor should attempt to remove approximately 100 percent of salt cedar within the project boundary, taking care to ensure mastication and grubbing does not disrupt critical infrastructure within the boundary. Operations are expected to leave approximately 2-4 inches of wood chips from mastication on the ground in masticated areas, which will help with soil stability. One quote will be given as a standalone for the total 105 acres of the project block and the contractor shall provide all necessary equipment to complete the project. Project work will be completed by 2-11-20.

The Town of Kearny Council reserves the right to reject any or all Bids, to waive any non-conformance, to re-advertise for Bids, and to withhold the award for any reason the Town of Kearny determines. MINER, CBN, SUN Legal 9/4/19, 9/11/19, 9/18/19

## Public Notice

### NOTICE TO OFFERORS

1GPA will receive sealed submittals for: Request for Proposals #19-14P Electronic Scoreboards and Signs Until Thursday, September 26, 2019 at 10:00 AM (AZ Time Zone) at: **1910 W. Washington St. Phoenix, AZ 85009** Sealed submittals will be publicly opened immediately following the deadline for receiving responses Solicitations may be downloaded online at [www.publicpurchase.com](http://www.publicpurchase.com) For additional information please Contact Christy Knorr at 866-306-3893 or [cknorr@1gpa.org](mailto:cknorr@1gpa.org) **MINER Legal 8/28/19, 9/4/19**

Patronize Our Advertisers

## Public Notice

### NOTICE TO CREDITORS

Jay L. Baugh Revocable Trust dated February 24, 2004 (the “Trust”) NOTICE IS GIVEN THAT: 1. BRYCE WAITE and CONNIE DAHLSTRAND are serving as Successor Co-Trustees of the Trust. 2. Claims against the Trust are required to present their claims within four (4) months after the date of the first publication of this notice or the claims will be forever barred. 3. Claims against the Trust must be presented by delivering or mailing a written statement of the claim to the successor Co-Trustees: BRYCE WAITE and CONNIE DAHLSTRAND c/o Sarah Clifford, Esq. Davis Miles McGuire Gardner, PLLC 40 East Rio Salado Parkway, Suite 425 Tempe, AZ 85281 Dated this 12th day of July, 2019. Davis Miles McGuire Gardner, PLLC By: /s/Sarah Clifford 40 East Rio Salado Parkway, Suite 425 Tempe, AZ 85281 Attorneys for Successor Trustee 8/28, 9/4, 9/11/19 CNS-3286052# SAN MANUEL MINER MINER Legal 8/28/19, 9/4/19, 9/11/19

BREAKING NEWS ON FACEBOOK @ COPPERAREA

# Mountain Vista School welcomes five new teachers this year

There are some new faces roaming the halls of Mountain Vista School in Oracle (and we're not talking kids).

There are five new teachers who join the ranks of the educators.

**Tara Garcia** teaches sixth grade. She received her Bachelor's in Education from the University of Arizona and her Master's in Education from Arizona State University.

"I have always had a passion for teaching, even when I was very young," she said. "I hope to meet my students where they are academically and push them as far as they can go. I'd like my students to give my class a love of lifelong learning."

Tara enjoys reading and spending time with her family. She is married to John Garcia and they have four children: John Jr., Lacey, Alexis and Samantha.

**Debbie Vargas** will also be teaching sixth grade. She received her Bachelor of Science degree in Education from Northern Arizona University. Her career goals are she plans to continue with classroom teaching. She loves kids and that is why she chose teaching as a career.

Debbie likes to read, hike and spending time with family and friends. She has two daughters, Ashley who is a senior at Embry Riddle University and Rebecca who is graduated from Canyon del Oro High School this year.

**Mark Parrish** is the new seventh grade English Language Arts teacher. He received his Bachelor of Science in Education degree from Baker College and his Bachelor of Arts degree in English from Western Michigan University.

He chose teaching as a profession "because I had amazing teachers who inspired me to achieve my goals." He added, "I plan to work on being the best 7th grade ELA teacher I can be."

Mark is single and loves to read, watch movies and listen to music.

**José Joel Cardona Gonzalez** will be teaching K – 8 Art. He is from Puerto Rico originally, then living in Florida before moving to Arizona in 2009. He has a degree in Art Education from the University of Arizona.

José enjoys playing board & video games, filming, making 3-D art and working out.

**Phil Coleman** is the new K – 8 Music Teacher. He went to school at the University of Illinois at Urbana – Champaign, M.M. Euphonium Performance. He received a B.M. degree in Music Education from Susquehanna University in Selmsgrove, Pennsylvania. He can play a number of musical instruments.

He chose a teaching career "to be a positive role model for students of all ages." His career goal is to work at Mountain Vista School for a long time.

In his free time, he enjoys playing golf, reading and watching sports. Phil is married to Dr. Lauren Coleman and they have a 9 month old son, Andrew.



**Tara Garcia**



**Debbie Vargas**



**Mark Parrish**



**José Joel Cardona Gonzalez**



**Phil Coleman**

## Public Notice

**Notice To Creditors/Kathryn A. Arnold**  
Timothy M. Struse, Esq. AZSBN #022051  
Fletcher Struse Fickbohm & Wagner  
PLC 6750 North Oracle Road Tucson,  
AZ 85704 Telephone: (520) 575-5555  
tstruse@tucsontrusts.com Attorneys  
for Personal Representative Superior  
Court Of Arizona, Pinal County In The  
Matter of the Estate of: Kathryn A. Arnold  
Date of Birth: 3/15/1960 Deceased.  
No. PB201900287 Notice To Creditors  
Amanda Stanford Registrar Notice Is  
Hereby Given that Douglas J. Arnold has  
been appointed Personal Representative  
of this Estate. All persons having claims  
against the Estate are required to present  
their claims within four months after the  
date of the first publication of this notice,  
to those notified by publication, or within  
sixty days after mailing or other delivery  
of this notice, to those notified by mailing  
or other delivery, whichever is later, or  
the claims will be forever barred. Claims  
must be presented by delivering or mailing  
a written statement of the claim to the  
Personal Representative, c/o Timothy  
M. Struse, 6750 N. Oracle Road, Tucson,  
AZ 85704. Dated: 7-26-19. Fletcher  
Struse Fickbohm & Wagner PLC By: /s/  
Timothy M. Struse, Esq. Attorneys for  
Personal Representative  
**MINER Legal 9/4/19, 9/11/19, 9/18/19**

## Public Notice

**SUMMONS**  
**CASE NO. S1100CV201901077**  
IN THE SUPERIOR COURT OF THE  
STATE OF ARIZONA IN AND FOR  
THE COUNTY OF PINAL Shawna  
Danielle Dornier Plaintiff(s), v. Margaret  
L. Diefenthaler, et al. Defendant(s). To:  
Margaret L. Diefenthaler WARNING:  
THIS AN OFFICIAL DOCUMENT FROM  
THE COURT THAT AFFECTS YOUR  
RIGHTS. READ THIS SUMMONS  
CAREFULLY. IF YOU DO NOT  
UNDERSTAND IT, CONTACT AN  
ATTORNEY FOR LEGAL ADVICE. 1.  
A lawsuit has been filed against you.  
A copy of the lawsuit and other related  
court paperwork has been served on you  
with this Summons. 2. If you do not want  
a judgment taken against you without  
your input, you must file an Answer in  
writing with the Court, and you must pay  
the required filing fee. To file your Answer,  
take or send the papers to Clerk of the  
Superior Court, 971 Jason Lopez Circle  
Building A, Florence, Arizona 85132 or  
electronically file your Answer through  
one of Arizona's approved electronic  
filing systems at <http://www.azcourts.gov/e-filing/information>. Mail a copy  
of the Answer to the other party, the  
Plaintiff, at the address listed on the top  
of this Summons. Note: If you do not file  
electronically you will not have electronic  
access to the documents in this case.  
3. If this Summons and the other court  
papers were served on you within the  
State of Arizona, your Answer must be  
filed within TWENTY (20) CALENDAR  
DAYS from the date of service, not  
counting the day of service. If the papers  
were served on you outside the State of  
Arizona, your Answer must be filed within  
THIRTY (30) CALENDAR DAYS, not  
counting the day of service. Requests  
for reasonable accommodations for  
persons with disabilities must be made  
to the court by parties at least 3 working  
days in advance of a scheduled court  
proceeding. GIVEN under my hand and  
the Seal of the Superior Court of the  
State of Arizona in and for the County  
of PINAL. SIGNED AND SEALED this  
date: July 24, 2019 Amanda Stanford  
Clerk of Superior Court By: AUKENDALL  
Deputy Clerk A copy of the Summons and  
Complaint may be obtained by contacting  
Plaintiff's attorney, Douglas N Nelson, at  
Evans, Dove, & Nelson, P.L.C., 2650 E  
Southern Avenue, Mesa, AZ 85204, (480)  
926-8600.  
9/4, 9/11, 9/18, 9/25/19  
**CNS-328847Z#**  
**SAN MANUEL MINER**  
**MINER Legal 9/4/19, 9/11/19, 9/18/19,**  
**9/25/19**

## Public Notice

ARTICLES OF ORGANIZATION  
OF LIMITED LIABILITY COMPANY  
Entity Information Entity Name: Duwe  
Counseling LLC Entity ID: 23004364  
Entity Type: Domestic LLC Effective Date:  
07/17/2019 Character of Business: Health  
Care and Social Assistance Management  
Structure: Manager-Managed Period  
of Duration: Perpetual Statutory Agent  
Information Statutory Agent Name:  
Janis G. Duwe Physical Address: 32456  
South Addax Place, Oracle, AZ 85623  
Known Place of Business: Att: Janis  
G. Duwe, 32456 South Addax Place,  
Oracle, AZ 85623 Principals Member and  
Manager: Janis G. Duwe, 32456 South  
Addax Place, Oracle, AZ 85623, USA  
- jgduwe2@gmail.com - Date of Taking  
Office: 07/17/2019 Organizers Janis G.  
Duwe, 32456 South Addax Place, Oracle,  
AZ 85623, USA - jgduwe2@gmail.com  
Signatures Organizer: Janis G duwe -  
07/17/2019  
**MINER Legal 9/4/19, 9/11/19, 9/18/19**

## Public Notice

**Summons/Alvaro Ledesma**  
Brown | Olcott, PLLC John Halk (032166)  
Philip Brown (019410) 373 S. Main Ave  
Tucson, AZ 85701 (520) 229-3377 x36  
Fax: 888-202-0059 pbj@azhoalaw.net  
Attorneys for Plaintiff In The Maricopa/  
Stanfield Justice Court County Of Pinal,  
State Of Arizona 19955 N Wilson Ave,  
Maricopa, AZ 85139 Senita Community  
Association, an Arizona non-profit  
corporation, Plaintiff, vs. Alvaro Ledesma;  
John and Jane Does 1-10, ABC Bonding  
Companies; XYZ Corporations, and  
Green and Black Partnerships Or  
Limited Liability Companies, Defendants.  
Case No. CV2019000455 Summons  
The State Of Arizona to the Defendant:  
Alvaro Ledesma 19020 N Kristal Ln  
Maricopa, AZ 85138 You Are Hereby  
Summoned and required to appear and  
defend within the time applicable, in  
this action in this court. If served within  
Arizona, you shall appear and defend  
within 20 days after the service of the  
Summons and Complaint upon you,  
exclusive of the day of service. If served  
out of the State of Arizona-whether by  
direct service, by registered or certified  
mail, or by publication - you shall appear  
and defend within 30 days after service  
of the Summons and Petition/Complaint  
upon you is complete, exclusive of the  
day of service. Service with registered  
or certified mail out of the State of  
Arizona is complete 30 days after the  
date of filing the receipt and affidavit  
of service with the Court. Service by  
publication is complete 30 days after the  
date of first publication. Direct service  
is complete when made. Ariz.R.Civ.P.  
Rule 4; A.R.S. §§25-311 to 25-381.24.  
You Are Hereby Notified that in case of  
your failure to appear and defend within  
the time applicable, judgment by default  
will be taken against you for the relief  
demanded in the Complaint. You Are  
Cautioned that in order to appear and  
defend, you must file an Answer or proper  
response in writing with the Clerk of this  
Court, accompanied by the necessary  
filing fee, within the time required, and  
you are required to serve a copy of any  
Answer or response upon the Plaintiff's  
attorney. Ariz.R.Civ.P. 10(D); A.R.S.  
§12-311; Ariz.R.Civ.P. Rule 5. Requests  
For Reasonable Accommodation For  
Persons With Disabilities Must Be  
Made To The Division Assigned To The  
Case By Parties At Least 3 Judicial  
Days In Advance Of A Scheduled Court  
Proceeding. The Name And Address  
Of The Plaintiff's Attorney Is: John Halk  
Philip N. Brown Brown | Olcott, PLLC  
373 S. Main Ave Tucson, AZ 85701 (520)  
229-3377 x36 Signed And Sealed This  
Date: Apr 12 2019 By illegible Clerk  
of the Court A copy of the Complaint  
and accompanying documents may be  
obtained by contacting Plaintiff's attorney  
at the address shown on the Summons.  
**MINER Legal 9/4/19, 9/11/19, 9/18/19,**  
**9/25/19**

## Public Notice

**ARTICLES OF ORGANIZATION**  
1. Entity Type: Limited Liability Company  
2. Entity Name: KRF Properties, LLC 4.  
Statutory Agent for service of process:  
Kevin Fryrear 34617 N. Vidlak Dr.  
San Tan Valley AZ 85143 5. Arizona  
Known Place of Business Address: Is  
the Arizona known place of business  
address the same as the street address  
of the statutory agent? Yes 8. Member-  
Managed LLC The person signing below  
declares and certifies under penalty  
of law that the information contained  
within this document together with any  
attachments is true and correct, and is  
submitted in compliance with Arizona law.  
/s/ Kevin Fryrear 7/12/2019 MEMBER  
STRUCTURE ATTACHMENT 1. Entity  
Name: KRF Properties, LLC 2. Members  
Kevin Fryrear 34617 N. Vidlak Dr. San  
Tan Valley AZ 85143 United States;  
Rosalinda Fryrear 34617 N. Vidlak Dr.  
San Tan Valley AZ 85143 United States  
**MINER Legal 8/21/19, 8/28/19, 9/4/19**

## Public Notice

**File No. 025417-00004**  
**Notice Of Trustee's Sale**  
Recorded: 08/20/2019 NOTICE! IF YOU  
BELIEVE THERE IS A DEFENSE TO  
THE TRUSTEE SALE OR IF YOU HAVE  
AN OBJECTION TO THE TRUSTEE  
SALE, YOU MUST FILE AN ACTION AND  
OBTAIN A COURT ORDER PURSUANT  
TO RULE 65, ARIZONA RULES OF  
CIVIL PROCEDURE, STOPPING THE  
SALE NO LATER THAN 5:00 P.M.  
MOUNTAIN STANDARD TIME ON THE  
LAST BUSINESS DAY BEFORE THE  
SCHEDULED DATE OF THE SALE,  
OR YOU MAY HAVE WAIVED ANY  
DEFENSES OR OBJECTIONS TO  
THE SALE. UNLESS YOU OBTAIN AN  
ORDER, THE SALE WILL BE FINAL  
AND WILL OCCUR. The following legally  
described trust property will be sold,  
pursuant to the power of sale under that  
certain Deed of Trust, dated January 22,  
2018, and recorded on February 1, 2018,  
as Instrument No. 2018-008005, records  
of Pinal County, Arizona, at public auction  
to the highest bidder at the front entrance  
to the County Courthouse, 971 Jason  
Lopez Circle, Florence, Arizona 85132, in  
Pinal County, on Wednesday, November  
20, 2019, at 11:00 a.m. of said day; Lot  
185, Of Parcel 5 At Circle Cross Ranch,  
According To The Plat Of Record In  
The Office Of The County Recorder  
Of Pinal County, Arizona, Recorded In  
Cabinet D, Slide 89. The street address  
or identifiable location of this property is:  
35418 N. Barzona Trail San Tan Valley,  
Arizona 85143 Tax Parcel Number: 210-  
68-909-04 Original Principal Balance:  
\$81,000.00 Name and Address of Current  
Beneficiary: Pinal County Federal Credit  
Union 1000 E. Florence Blvd. Casa  
Grande, AZ 85122 Name and Address  
of Original Trustor: Jaime E. Sanchez,  
a single person 35418 N. Barzona Trail  
San Tan Valley, Arizona 85143 Name  
and Current Address of Current Trustor:  
Jaime E. Sanchez, a single person 35418  
N. Barzona Trail San Tan Valley, Arizona  
85143 Name and Address of Successor  
Trustee: Kent E. Cammack Gust  
Rosenfeld P.L.C. One East Washington  
Street Suite 1600 Phoenix, Arizona  
85004 Telephone: (602) 257-7446 (Attn:  
Trish Hines) The appointed Successor  
Trustee qualifies as trustee of the Deed  
of Trust in the trustee's capacity as a  
member of the State Bar of Arizona, as  
required by A.R.S. § 33-803(A) and is  
regulated by the Arizona Supreme Court.  
Dated: August 20th, 2019. /s/ Kent E.  
Cammack Successor Trustee State Of  
Arizona ) ss. County of Maricopa )  
The foregoing instrument was acknowledged  
before me on August 20th, 2019, by Kent  
E. Cammack, Successor Trustee. (Seal  
and Expiration Date) /s/ Patricia Hines  
Notary Public Commission #63542  
Expires October 28, 2022.  
**MINER Legal 9/4/19, 9/11/19, 9/18/19,**  
**9/25/19**

## Public Notice

### File No. 2015-025179 Notice Of Trustee's Sale

The following legally-described trust property will be sold, pursuant to the power of sale under that certain Deed of Trust dated as of April 17, 2015, and recorded on April 21, 2015, as Fee Number 2015-025179, in the Official Records of Pinal County, Arizona (the "Deed of Trust"), at public auction to the highest bidder at the Main Entrance to the Superior Court Building, 971 N. Jason Lopez Circle, Building A, Florence, AZ 85132 on December 3, 2019, at 10:00 a.m. (MST); Street Address or Identifiable Location 813 W Calle Rosa, Casa Grande, AZ 85194 of Trust Property: Legal Description of Trust Property: See Exhibit A Tax Parcel Number(s): 401-20-0070 402-20-0090 402-20-0100 401-20-020F 401-20-020G 401-20-028C 401-65-065B 401-65-0660 Original Principal Balance: \$484,250.00 Name and Address of Beneficiary: Western State Bank, Inc. 976 W. Chandler Blvd., Chandler Arizona 85225 Name and Address of Trustor as Stated in the Deed of Trust: RMK Development, LLC, 18679 E. Druids Glen Rd., Queen Creek, AZ 85242. Name and Address of Successor Trustee, as successor to Title Security Agency of Arizona, the original trustee: John Craiger, Esq. Polsinelli PC: One East Washington Street, Suite 1200 Phoenix, Arizona 85004-2568 Telephone Number of Trustee: 602-650-2301 Signature of Successor Trustee: /s/ John Craiger, Esq., Successor Trustee Manner of Successor Trustee Qualification: The Trustee qualifies as a Trustee of the Deed of Trust in the Successor Trustee's capacity as a member of the State Bar of Arizona as required by Arizona Revised Statutes § 33-803, subsection A. At the same time and location, the Trustee will sell the personal property described in the Deed of Trust. Dated this 26th day of August, 2019. State Of Arizona ) ss: County of Maricopa ) The foregoing instrument was acknowledged before me this 26th day of August, 2019, by John Craiger, Successor Trustee. /s/ Dawn M. Coppens Notary Public My Commission Expires: 7-13-2020 Exhibit A Parcel No. 1: That Portion Of The Northwest Quarter Of Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Commencing At The Southwest Corner Of Tract "B", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39; Thence South 00 Degrees 00 Minutes 32 Seconds West, A Distance Of 250.00 Feet To The True Point Of Beginning; Thence South 89 Degrees 59 Minutes 28 Seconds East, A Distance Of 124.23 Feet; Thence North 68 Degrees 49 Minutes 28 Seconds East, A Distance Of 150.07 Feet; Thence North 73 Degrees 35 Minutes 00 Seconds East, A Distance Of 137.21 Feet; Thence North 79 Degrees 25 Minutes 00 Seconds East, A Distance Of 560.00 Feet; Thence North 10 Degrees 35 Minutes 00 Seconds West, A Distance Of 101.17 Feet To The Beginning Of A Curve Northwestly, The Center Of Which Bears North 14 Degrees 24 Minutes 21 Seconds West, A Distance Of 525.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 39 Degrees 47 Minutes 40 Seconds, A Distance Of 364.64 Feet To A Point Of Curvature From Which The Center Of Reverse Curvature From Which The Center Of A Reverse Curve Concave Southeasterly Bears South 54 Degrees 12 Minutes 01 Seconds East, A Distance Of 275.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 38 Degrees 55 Minutes 24 Seconds, A Distance Of 186.82 Feet; Thence South, A Distance Of 69.28 Feet; Thence South 32 Degrees 29 Minutes 44 Seconds

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West, A Distance Of 125.92 Feet; Thence South 37 Degrees 10 Minutes 00 Seconds West, A Distance Of 560.00 Feet; Thence South 66 Degrees 25 Minutes 59 Seconds West, A Distance Of 178.26 Feet; Thence South 86 Degrees 10 Minutes 00 Seconds West, A Distance Of 350.00 Feet; Thence South 75 Degrees 20 Minutes 00 Seconds West, A Distance Of 103.37 Feet; Thence South 53 Degrees 45 Minutes 00 Seconds West, A Distance Of 102.59 Feet; Thence South 32 Degrees 15 Minutes 00 Seconds West, A Distance Of 102.59 Feet; Thence South 10 Degrees 45 Minutes 00 Seconds West, A Distance Of 102.59 Feet; Thence South, A Distance Of 280.00 Feet; Thence East, A Distance Of 100.00 Feet; Thence South, A Distance Of 9.65 Feet To A Point On A Tangent Curve Concave Easterly Having A Radius Of 210.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 21 Degrees 37 Minutes 00 Seconds, A Distance Of 79.23 Feet; Thence South 68 Degrees 23 Minutes 00 Seconds West, A Distance Of 80.00 Feet; Thence South 74 Degrees 48 Minutes 06 Seconds West, A Distance Of 205.26 Feet; Thence North 89 Degrees 59 Minutes 28 Seconds West, A Distance Of 40.72 Feet; Thence North 00 Degrees 00 Minutes 32 Seconds East, A Distance Of 840.00 Feet To The Point Of Beginning, Parcel No. 2: That Portion Of The Northwest Quarter Of Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Commencing At The Southwest Corner Of Tract "B", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39; Thence South 00 Degrees 00 Minutes 32 Seconds West, A Distance Of 1090.00 Feet; Thence South 89 Degrees 59 Minutes 28 Seconds East, A Distance Of 40.72 Feet; Thence North 74 Degrees 48 Minutes 06 Seconds East, A Distance Of 205.26 Feet; Thence North 68 Degrees 23 Minutes 00 Seconds East, A Distance Of 130.00 Feet To The True Point Of Beginning, Said Point Being The Beginning Point Of A Curve Concave Easterly, The Center Of Which Bears North 68 Degrees 23 Minutes 00 Seconds East, A Distance Of 160.00 Feet; Thence Northerly Along The Arc Of Said Curve Through A Central Angle Of 21 Degrees 37 Minutes 00 Seconds, A Distance Of 60.37 Feet; Thence North, A Distance Of 59.65 Feet; Thence North 83 Degrees 08 Minutes 02 Seconds East, A Distance Of 100.72 Feet; Thence North 65 Degrees 00 Minutes 00 Seconds East, A Distance Of 305.87 Feet; Thence North 03 Degrees 50 Minutes 00 Seconds West, A Distance Of 100.36 Feet; Thence North 86 Degrees 10 Minutes 00 Seconds East, A Distance Of 140.00 Feet; Thence North 74 Degrees 00 Minutes 00 Seconds East, A Distance Of 139.42 Feet; Thence North 57 Degrees 09 Minutes 44 Seconds East, A Distance Of 125.49 Feet; Thence South 55 Degrees 05 Minutes 21 Seconds East, A Distance Of 170.66 Feet; Thence South 76 Degrees 00 Minutes 00 Seconds East, A Distance Of 177.83 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds East, A Distance Of 156.14 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, A Distance Of 100.00 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds East, A Distance Of 75.00 Feet; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 100.00 Feet; Thence South 21 Degrees 13 Minutes 18 Seconds East, A Distance Of 102.53 Feet; Thence South 18 Degrees 03 Minutes 00 Seconds West, A Distance Of 215.00 Feet; Thence North 71 Degrees 57 Minutes 00 Seconds West, A Distance Of 331.98 Feet; Thence North 75 Degrees

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25 Minutes 39 Seconds West, A Distance Of 75.26 Feet; Thence North 79 Degrees 25 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence North 83 Degrees 35 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence North 87 Degrees 45 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 88 Degrees 05 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 83 Degrees 55 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 79 Degrees 45 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 75 Degrees 35 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 71 Degrees 31 Minutes 30 Seconds West, A Distance Of 75.26 Feet; Thence South 68 Degrees 23 Minutes 00 Seconds West, A Distance Of 292.16 Feet To The Point Of Beginning, Parcel No. 3: That Portion Of The North Half Of Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona. Described As Follows: Beginning At The Northwest Corner Of Lot 43, Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39; Thence South, A Distance Of 1082.53 Feet; Thence South 19 Degrees 29 Minutes 17 Seconds West, A Distance Of 74.44 Feet; Thence South, A Distance Of 70.00 Feet; Thence North 89 Degrees 35 Minutes 38 Seconds East, A Distance Of 95.00 Feet; Thence North 36 Degrees 30 Minutes 54 Seconds East, A Distance Of 42.16 Feet To A Point On A Curve Concave Northerly, The Center Of Which Bears North 30 Degrees 38 Minutes 54 Seconds East, A Distance Of 50.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 110 Degrees 15 Minutes 18 Seconds, A Distance Of 96.22 Feet To A Point Of Reverse Curvature, From Which Point The Center Of A Reverse Curve Concave Southeasterly Bears South 73 Degrees 44 Minutes 25 Seconds East, A Distance Of 50.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 73 Degrees 20 Minutes 03 Seconds, A Distance Of 64.00 Feet; Thence North 89 Degrees 35 Minutes 38 Seconds East, A Distance Of 244.93 Feet To The Beginning Point Of A Tangent Curve Concave Southwesterly And Having A Radius Of 25.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 80 Degrees 36 Minutes 19 Seconds, A Distance Of 35.17 Feet To A Point Of Reverse Curvature, From Which The Center Of A Reverse Curve Concave Northeasterly Bears North 80 Degrees 11 Minutes 57 Seconds East, A Distance Of 300.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 29 Degrees 52 Minutes 42 Seconds, A Distance Of 156.44 Feet; Thence South 39 Degrees 40 Minutes 44 Seconds East, A Distance Of 327.70 Feet To The Beginning Of A Tangent Curve Southwesterly And Having A Radius Of 350.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 10 Degrees 11 Minutes 23 Seconds, A Distance Of 62.25 Feet To A Point Of Compound Curvature, From Which The Center Of A Curve Concave Northwestly Bears South 60 Degrees 30 Minutes 39 Seconds West, A Distance Of 25.00 Feet; Thence Southwesterly Along The Arc Of Said Curve Through A Central Angle Of 135 Degrees 59 Minutes 21 Seconds, A Distance Of 59.34 Feet; Thence North 73 Degrees 30 Minutes 00 Seconds West, A Distance Of 668.51 Feet To The Beginning Of A Tangent Curve Concave Southerly Having A Radius Of 950.00 Feet; Thence Westerly Along The Arc Of Said Curve Through A Central Angle Of 14 Degrees 30 Minutes 00 Seconds, A Distance Of 240.42 Feet; Thence North 88 Degrees

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00 Minutes 00 Seconds West, A Distance Of 38.95 Feet; Thence North 07 Degrees 3.0 Minutes 00 Seconds West, A Distance Of 527.90 Feet; Thence North 04 Degrees 06 Minutes 35 Seconds West, A Distance Of 213.38 Feet; Thence North, A Distance Of 714.32 Feet To The Northeast Corner Of Lot 44, Of Said Tierra Grande Country Club Estates Unit I. Said Point Lying On A Curve Concave Southerly, The Center Of Which Bears South 04 Degrees 03 Minutes 03 Seconds West, A Distance Of 540.00 Feet; Thence Easterly Along The Southerly Boundary Of Said Tierra Grande Country Club Estates Unit I And Along The Arc Of Said Curve Through A Central Angle Of 12 Degrees 35 Minutes 09 Seconds, A Distance Of 118.62 Feet; Thence South 73 Degrees 21 Minutes 48 Seconds East Along The Aforementioned Boundary, A Distance Of 118.50 Feet To The Point Of Beginning, Parcel No. 4: That Portion Of Lot 8, Of Survey Plat Of Tierra Grande Country Club Estates, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona Recorded In Cabinet A, Slides 22 And 23 And Situated In Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona. Described As Follows: Beginning At A Point On The Most Easterly Line Of Said Lot 8, Of Tierra Grande Country Club Estates, Said Point Being The Intersection Of Said Easterly Line And The Northerly Right Of Way Line Of Ultima Boulevard; Thence South 89 Degrees 35 Minutes 38 Seconds West, Along Said Northerly Right Of Way Line, A Distance Of 122.50 Feet; Thence North 00 Degrees 24 Minutes 22 Seconds West, A Distance Of 100.00 Feet; Thence South 89 Degrees 35 Minutes 38 Seconds West, A Distance Of 415.25 Feet; Thence North 13 Degrees 44 Minutes 22 Seconds East, A Distance Of 160.22 Feet; Thence North 41 Degrees 52 Minutes 01 Seconds West, A Distance Of 75.00 Feet; Thence North 87 Degrees 18 Minutes 12 Seconds West, A Distance Of 172.00 Feet; Thence South 55 Degrees 40 Minutes 15 Seconds West, A Distance Of 76.41 Feet; Thence South 02 Degrees 41 Minutes 48 Seconds West, 265.00 Feet To A Point In Said Northerly Right Of Way Line Of Ultima Boulevard And A Point Marking The Beginning Of A Non-Tangent Curve, The Central Point Of Which Bears North 06 Degrees 21 Minutes 11 Seconds East, 1960.00 Feet; Thence Westerly, Along Said Right Of Way Line And Along The Arc Of Said Curve Through A Central Angle Of 06 Degrees 59 Minutes 13 Seconds, Having An Arc Distance Of 239.01 Feet; Thence North 18 Degrees 03 Minutes 00 Seconds East, 203.71 Feet To A Point Marking The Beginning Of A Tangent Curve, Having A Radius Of 725.00 Feet To The Left; Thence Along The Arc Of Said Curve Through A Central Angle Of 16 Degrees 03 Minutes 00 Seconds, Having An Arc Distance Of 203.09 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, A Distance Of 119.97 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds West, A Distance Of 100.00 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, 6.00 Feet To A Point Marking The Beginning Of A Tangent Curve, Having A Radius Of 50.00 Feet To The Right; Thence Along The Arc Of Said Curve Through A Central Angle Of 17 Degrees 45 Minutes 10 Seconds, Having An Arc Distance Of 15.49 Feet To A Point Of Reverse Curvature Marking The Beginning Of A Tangent Curve, The Central Point Of Which Bears North 70 Degrees 14 Minutes 50 Seconds West, 50.00 Feet; Thence Northwesterly Along The Arc Of Said Curve Through A Central Angle Of 105 Degrees 49 Minutes 55 Seconds, Having An Arc Distance Of 101.59 Feet To A Point On The Northerly Boundary Of Said Lot 8 And Point Of

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Cusp Marking The Beginning Of A Curve, The Central Point Of Which Bears South 03 Degrees 55 Minutes 15 Seconds West, 950.00 Feet; Thence Southeasterly Along Said Boundary And Along The Arc Of Said Curve Through A Central Angle Of 12 Degrees 34 Minutes 45 Seconds, Having An Arc Distance Of 208.57 Feet; Thence The Following Courses And Distances Along Said Boundary: South 73 Degrees 30 Minutes 00 Seconds East, A Distance Of 907.59 Feet; South 16 Degrees 30 Minutes 00 Seconds West, A Distance Of 150.00 Feet; South 73 Degrees 30 Minutes 00 Seconds East, A Distance Of 44.93 Feet; South 00 Degrees 00 Minutes 00 Seconds West, A Distance Of 208.58 Feet To The Point Of Beginning, Parcel No. 5: That Portion Of Lot 8 Of Survey Plat Of Tierra Grande Country Club Estates, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona Recorded In Cabinet A, Slides 22 And 23 And Situated In Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Beginning At The Northwesterly Corner Of Said Lot 8, Lying On A Southerly Line Of Lot 3 Of Said Tierra Grande Country Club Estates, Said Corner Lying North 88 Degrees 00 Minutes 00 Seconds West, As Measured Along The Boundary Of Said Lot 3, A Distance Of 100.00 Feet From The Southeast Corner Of Said Lot 3; Thence South 88 Degrees 00 Minutes 00 Seconds East, Along That Boundary Common To Said Lot 8 And Lot 3, A Distance Of 30.00 Feet; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 169.92 Feet To A Point On The Boundary Of Said Lot 8; Thence North 21 Degrees 13 Minutes 18 Seconds West, Along Said Boundary, A Distance Of 76.09 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, Along Said Boundary, A Distance Of 100.00 Feet To The Point Of Beginning, Parcel No. 6: That Portion Of Lot 8, Of Survey Plat Of Tierra Grande Country Club Estates, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona Recorded In Cabinet A, Slides 22 And 23 And Situated In Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Beginning At The Southeast Corner Of Lot 2 Of Said Tierra Grande Country Club Estates Being On The Northerly Right Of Way Line Of Ultima Boulevard And Also Being At An Angle Point Of Lot 8 Of Said Tierra Grande Country Club Estates; Thence North 18 Degrees 03 Minutes 00 Seconds East Along A Line Common To Said Lot 2 And Said Lot 8, A Distance Of 315.00 Feet; Thence North 21 Degrees 13 Minutes 18 Seconds West Along The Boundary Line Of Said Lot 8, A Distance Of 26.44 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, A Distance Of 169.92 Feet To The Northerly Line Of Said Lot 8 And The Southerly Line Of Lot 3 Of Said Tierra Grande Country Club Estates; Thence South 88 Degrees 00 Minutes 00 Seconds East Along Said Northerly Line, A Distance Of 70.00 Feet To An Angle Point Of Said Lot 8; Thence North 02 Degrees 00 Minutes 00 Seconds East Along A Common Line Of Said Lot 3 And Lot 8, A Distance Of 50.00 Feet To The Beginning Of A Non-Tangent Curve, The Central Point Of Which Bears South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 950.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 01 Degrees 55 Minutes 14 Seconds Having An Arc Distance Of 31.85 Feet To The Beginning Of A Tangent Curve, The Central Point Of Which Bears South 03 Degrees 55 Minutes 11 Seconds West, A Distance Of 55.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central

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Angle Of 105 Degrees 49 Minutes 50 Seconds. Having An Arc Distance Of 101.59 Feet To The Beginning Of A Tangent Reverse Curve, The Central Point Of Which Bears South 70 Degrees 14 Minutes 59 Seconds East, A Distance Of 50.00 Feet; Thence Southwesterly Along The Arc Of Said Curve Through A Central Angle Of 17 Degrees 45 Minutes 01 Seconds, Having An Arc Distance Of 15.49 Feet To A Tangent Line; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 6.00 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds East, A Distance Of 100.00 Feet; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 119.97 Feet To The Beginning Of A Tangent Curve, The Central Point Of Which Bears North 88 Degrees 00 Minutes 00 Seconds West, A Distance Of 725.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 16 Degrees 03 Minutes 00 Seconds, Having An Arc Distance Of 203.09 Feet To A Tangent Line; Thence South 18 Degrees 03 Minutes 00 Seconds West, A Distance Of 203.71 Feet To The Northerly Right Of Way Line Of Said Ultima Boulevard Being A Non Tangent Curve, The Central Point Of Which Bears North 13 Degrees 20 Minutes 25 Seconds East, A Distance Of 1960.00 Feet; Thence Northwesterly Along The Arc Of Said Curve Through A Central Angle Of 04 Degrees 42 Minutes 35 Seconds, Having An Arc Distance Of 161.12 Feet To A Tangent Line; Thence North 71 Degrees 57 Minutes 00 Seconds West Along Said Right-Of-Way Line, A Distance Of 89.06 Feet To The Point Of Beginning, Parcel No. 7: Tract "A", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39. Except That Portion Described As Follows: Beginning At The Southwest Corner Of Said Tract "A"; Thence North 00 Degrees 00 Minutes 32 Seconds East Along The West Line Of Said Tract "A", A Distance Of 388.80 Feet To The Northwest Corner Of Said Tract "A", Said Point Being The Beginning Of A Curve Concave Northerly, The Center Of Which Bears North 13 Degrees 28 Minutes 28 Seconds East, A Distance Of 225.00 Feet; Thence Easterly Along The Northerly Boundary Of Said Tract "A" And Along The Arc Of Said Curve Through A Central Angle Of 29 Degrees 56 Minutes 21 Seconds And A Distance Of 117.57 Feet; Thence North 73 Degrees 32 Minutes 07 Seconds East Along The Northerly Boundary Of Said Tract "A", A Distance Of 361.93 Feet; Thence South, A Distance Of 238.66 Feet To A Point On The Southerly Boundary Of Said Tract "A", Said Point Lying On A Curve Concave Southerly, The Center Of Which Bears South 06 Degrees 18 Minutes 53 Seconds West, A Distance Of 285.00 Feet; Thence Southwesterly Along The Aforementioned Boundary Line And Along The Arc Of Said Curve Through A Central Angle Of 49 Degrees 36 Minutes 39 Seconds And A Distance Of 246.77 Feet; Thence South 46 Degrees 42 Minutes 14 Seconds West Along The Aforementioned Boundary Line, A Distance Of 155.31 Feet To The Point Of Beginning Of A Tangent Curve Concave Northwestly With A Radius Of 330.00 Feet; Thence Southwesterly Along The Aforementioned Boundary Line And Along The Arc Of Said Curve Through A Central Angle Of 25 Degrees 08 Minutes 54 Seconds And A Distance Of 144.84 Feet To The Point Of Beginning, Parcel No. 8: Tract "B", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39. **MINER Legal 9/4/19, 9/11/19, 9/18/19, 9/25/19**

**Public Notice**

**File No. 2015-025141  
Notice Of Trustee's Sale**

The following legally-described trust property will be sold, pursuant to the power of sale under that certain Deed of Trust dated as of April 17, 2015, and recorded on April 21, 2015, as Fee Number 2015-025141, in the Official Records of Pinal County, Arizona (the "Deed of Trust"), at public auction to the highest bidder at the Main Entrance to the Superior Court Building, 971 N. Jason Lopez Circle, Building A, Florence, AZ 85132 on December 3, 2019, at 10:00 a.m. (MST); Street Address or Identifiable Location 813 W Calle Rosa, Casa Grande, AZ 85194 of Trust Property; Legal Description of Trust Property: See Exhibit A Tax Parcel Number(s): 401-20-0070 402-20-0090 402-20-0100 401-20-020F 401-20-020G 401-20-028C 401-65-065B 401-65-0660 Original Principal Balance: \$2,068,500.00 Name and Address of Beneficiary: Western State Bank, Inc. 976 W. Chandler Blvd., Chandler Arizona 85225 Name and Address of Trustor as Stated in the Deed of Trust: RMK Development, LLC, 18679 E. Druids Glen Rd., Queen Creek, AZ 85242. Name and Address of Successor Trustee, as successor to Title Security Agency of Arizona, the original trustee: John Craiger, Esq. Poinsett 120 One East Washington Street, Suite P C Phoenix, Arizona 85004-2568 Telephone Number of Trustee: 602-650-2301 Signature of Successor Trustee: /s/ John Craiger, Esq., Successor Trustee Manner of Successor Trustee Qualification: The Trustee qualifies as a Trustee of the Deed of Trust in the Successor Trustee's capacity as a member of the State Bar of Arizona as required by Arizona Revised Statutes § 33-803, subsection A. At the same time and location, the Trustee will sell the personal property described in the Deed of Trust. Dated this 26th day of August, 2019. State Of Arizona ) ss: County of Maricopa ) The foregoing instrument was acknowledged before me this 26th day of August, 2019, by John Craiger, Successor Trustee. /s/ Dawn M. Coppens Notary Public My Commission Expires: 7-13-2020 Exhibit A Parcel No. 1: That Portion Of The Northwest Quarter Of Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Commencing At The Southwest Corner Of Tract "B". Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39; Thence South 00 Degrees 00 Minutes 32 Seconds West, A Distance Of 1090.00 Feet; Thence South 89 Degrees 59 Minutes 28 Seconds East, A Distance Of 124.23 Feet; Thence North 68 Degrees 49 Minutes 28 Seconds East, A Distance Of 150.07 Feet; Thence North 73 Degrees 35 Minutes 00 Seconds East, A Distance Of 137.21 Feet; Thence North 79 Degrees 25 Minutes 00 Seconds East, A Distance Of 560.00 Feet; Thence North 10 Degrees 35 Minutes 00 Seconds West, A Distance Of 101.17 Feet To The Beginning Of A Curve Northwest, The Center Of Which Bears North 14 Degrees 24 Minutes 21 Seconds West, A Distance Of 525.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 39 Degrees 47 Minutes 40 Seconds, A Distance Of 364.64 Feet To A Point Of Curvature From Which The Center Of Reverse Curvature From Which The Center Of A Reverse Curve Concave Southeasterly Bears South 54 Degrees 12 Minutes 01 Seconds East, A Distance Of 275.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 38 Degrees 55 Minutes 24 Seconds, A Distance Of 186.82 Feet; Thence South, A Distance Of 69.28 Feet; Thence South 00

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West, A Distance Of 125.92 Feet; Thence South 37 Degrees 10 Minutes 00 Seconds West, A Distance Of 560.00 Feet; Thence South 66 Degrees 25 Minutes 59 Seconds West, A Distance Of 178.26 Feet; Thence South 86 Degrees 10 Minutes 00 Seconds West, A Distance Of 350.00 Feet; Thence South 75 Degrees 20 Minutes 00 Seconds West, A Distance Of 103.37 Feet; Thence South 53 Degrees 45 Minutes 00 Seconds West, A Distance Of 102.59 Feet; Thence South 32 Degrees 15 Minutes 00 Seconds West, A Distance Of 102.59 Feet; Thence South 10 Degrees 45 Minutes 00 Seconds West, A Distance Of 102.59 Feet; Thence South, A Distance Of 280.00 Feet; Thence East, A Distance Of 100.00 Feet; Thence South, A Distance Of 9.65 Feet To A Point On A Tangent Curve Concave Easterly Having A Radius Of 210.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 21 Degrees 37 Minutes 00 Seconds, A Distance Of 79.23 Feet; Thence South 68 Degrees 23 Minutes 00 Seconds West, A Distance Of 80.00 Feet; Thence South 74 Degrees 48 Minutes 06 Seconds West, A Distance Of 205.26 Feet; Thence North 89 Degrees 59 Minutes 28 Seconds West, A Distance Of 40.72 Feet; Thence North 00 Degrees 00 Minutes 32 Seconds East, A Distance Of 840.00 Feet To The Point Of Beginning. Parcel No. 2: That Portion Of The Northwest Quarter Of Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Commencing At The Southwest Corner Of Tract "B", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39; Thence South 00 Degrees 00 Minutes 32 Seconds West, A Distance Of 1090.00 Feet; Thence South 89 Degrees 59 Minutes 28 Seconds East, A Distance Of 40.72 Feet; Thence North 74 Degrees 48 Minutes 06 Seconds East, A Distance Of 205.26 Feet; Thence North 68 Degrees 23 Minutes 00 Seconds East, A Distance Of 130.00 Feet To The True Point Of Beginning. Said Point Being The Beginning Point Of A Curve Concave Easterly, The Center Of Which Bears North 68 Degrees 23 Minutes 00 Seconds East, A Distance Of 160.00 Feet; Thence Northerly Along The Arc Of Said Curve Through A Central Angle Of 21 Degrees 37 Minutes 00 Seconds, A Distance Of 60.37 Feet; Thence North, A Distance Of 59.65 Feet; Thence North 83 Degrees 08 Minutes 02 Seconds East, A Distance Of 100.72 Feet; Thence North 65 Degrees 00 Minutes 00 Seconds East, A Distance Of 305.87 Feet; Thence North 03 Degrees 50 Minutes 00 Seconds West, A Distance Of 100.36 Feet; Thence North 86 Degrees 10 Minutes 00 Seconds East, A Distance Of 140.00 Feet; Thence North 74 Degrees 00 Minutes 00 Seconds East, A Distance Of 139.42 Feet; Thence North 57 Degrees 09 Minutes 44 Seconds East, A Distance Of 125.49 Feet; Thence South 55 Degrees 05 Minutes 21 Seconds East, A Distance Of 170.66 Feet; Thence South 76 Degrees 00 Minutes 00 Seconds East, A Distance Of 177.83 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds East, A Distance Of 156.14 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, A Distance Of 100.00 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds East, A Distance Of 75.00 Feet; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 100.00 Feet; Thence South 21 Degrees 13 Minutes 18 Seconds East, A Distance Of 102.53 Feet; Thence South 18 Degrees 03 Minutes 00 Seconds West, A Distance Of 215.00 Feet; Thence North 71 Degrees 57 Minutes 00 Seconds West, A Distance Of 331.98 Feet; Thence North 75

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Distance Of 75.26 Feet; Thence North 79 Degrees 25 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence North 83 Degrees 35 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence North 87 Degrees 45 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 88 Degrees 05 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 83 Degrees 55 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 79 Degrees 45 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 75 Degrees 35 Minutes 00 Seconds West, A Distance Of 75.25 Feet; Thence South 71 Degrees 31 Minutes 30 Seconds West, A Distance Of 75.26 Feet; Thence South 68 Degrees 23 Minutes 00 Seconds West, A Distance Of 292.16 Feet To The Point Of Beginning. Parcel No. 3: That Portion Of The North Half Of Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Beginning At The Northwest Corner Of Lot 43, Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39; Thence South, A Distance Of 1082.53 Feet; Thence South 19 Degrees 29 Minutes 17 Seconds West, A Distance Of 74.44 Feet; Thence South, A Distance Of 70.00 Feet; Thence North 89 Degrees 35 Minutes 38 Seconds East, A Distance Of 95.00 Feet; Thence North 36 Degrees 30 Minutes 54 Seconds East, A Distance Of 42.16 Feet To A Point On A Curve Concave Northerly, The Center Of Which Bears North 30 Degrees 38 Minutes 54 Seconds East, A Distance Of 50.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 110 Degrees 15 Minutes 18 Seconds, A Distance Of 96.22 Feet To A Point Of Reverse Curvature, From Which Point The Center Of A Reverse Curve Concave Southeasterly Bears South 73 Degrees 44 Minutes 25 Seconds East, A Distance Of 50.00 Feet; Thence Along The Arc Of Said Curve Through A Central Angle Of 73 Degrees 20 Minutes 03 Seconds, A Distance Of 64.00 Feet; Thence North 89 Degrees 35 Minutes 38 Seconds East, A Distance Of 244.93 Feet To The Beginning Point Of A Tangent Curve Concave Southwest, Having A Radius Of 25.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 80 Degrees 36 Minutes 19 Seconds, A Distance Of 35.17 Feet To A Point Of Reverse Curvature, From Which The Center Of A Reverse Curve Concave Northeasterly Bears North 80 Degrees 11 Minutes 57 Seconds East, A Distance Of 300.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 29 Degrees 52 Minutes 42 Seconds, A Distance Of 156.44 Feet; Thence South 39 Degrees 40 Minutes 44 Seconds East, A Distance Of 327.70 Feet To The Beginning Of A Tangent Curve Southwest, Having A Radius Of 350.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 10 Degrees 11 Minutes 23 Seconds, A Distance Of 62.25 Feet To A Point Of Compound Curvature, From Which The Center Of A Curve Concave Northwest, Having A Radius Of 60 Degrees 30 Minutes 39 Seconds West, A Distance Of 25.00 Feet; Thence Southwest, Having A Radius Of 135 Degrees 59 Minutes 21 Seconds, A Distance Of 59.34 Feet; Thence North 73 Degrees 30 Minutes 00 Seconds West, A Distance Of 668.51 Feet To The Beginning Of A Tangent Curve Concave Southerly Having A Radius Of 950.00 Feet; Thence West, Along The Arc Of Said Curve Through A Central Angle Of 14 Degrees 30 Minutes 00 Seconds, A Distance Of 240.42 Feet; Thence North 88 Degrees 00 Minutes 00

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Thence North 07 Degrees 3.0 Minutes 00 Seconds West, A Distance Of 527.90 Feet; Thence North 04 Degrees 06 Minutes 35 Seconds West, A Distance Of 213.38 Feet; Thence North, A Distance Of 714.32 Feet To The Northeast Corner Of Lot 44, Of Said Tierra Grande Country Club Estates Unit I. Said Point Lying On A Curve Concave Southerly, The Center Of Which Bears South 04 Degrees 03 Minutes 03 Seconds West, A Distance Of 540.00 Feet; Thence Easterly Along The Southerly Boundary Of Said Tierra Grande Country Club Estates Unit I And Along The Arc Of Said Curve Through A Central Angle Of 12 Degrees 35 Minutes 09 Seconds, A Distance Of 118.62 Feet; Thence South 73 Degrees 21 Minutes 48 Seconds East Along The Aforementioned Boundary, A Distance Of 118.50 Feet To The Point Of Beginning. Parcel No. 4: That Portion Of Lot 8, Of Survey Plat Of Tierra Grande Country Club Estates, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Cabinet A, Slides 22 And 23 And Situated In Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Beginning At A Point On The Most Easterly Line Of Said Lot 8, Of Tierra Grande Country Club Estates, Said Point Being The Intersection Of Said Easterly Line And The Northerly Right Of Way Line Of Ultima Boulevard; Thence South 89 Degrees 35 Minutes 38 Seconds West, Along Said Northerly Right Of Way Line, A Distance Of 122.50 Feet; Thence North 00 Degrees 24 Minutes 22 Seconds West, A Distance Of 100.00 Feet; Thence South 89 Degrees 35 Minutes 38 Seconds West, A Distance Of 415.25 Feet; Thence North 13 Degrees 44 Minutes 22 Seconds East, A Distance Of 160.22 Feet; Thence North 41 Degrees 52 Minutes 01 Seconds West, A Distance Of 75.00 Feet; Thence North 87 Degrees 18 Minutes 12 Seconds West, A Distance Of 172.00 Feet; Thence South 55 Degrees 40 Minutes 15 Seconds West, A Distance Of 76.41 Feet; Thence South 02 Degrees 41 Minutes 48 Seconds West, 265.00 Feet To A Point In Said Northerly Right Of Way Line Of Ultima Boulevard And A Point Marking The Beginning Of A Non-Tangent Curve, The Central Point Of Which Bears North 06 Degrees 21 Minutes 11 Seconds East, 1960.00 Feet; Thence West, Along Said Right Of Way Line And Along The Arc Of Said Curve Through A Central Angle Of 06 Degrees 59 Minutes 13 Seconds, Having An Arc Distance Of 239.01 Feet; Thence North 18 Degrees 03 Minutes 00 Seconds East, 203.71 Feet To A Point Marking The Beginning Of A Tangent Curve, Having A Radius Of 725.00 Feet To The Left; Thence Along The Arc Of Said Curve Through A Central Angle Of 16 Degrees 03 Minutes 00 Seconds, Having An Arc Distance Of 203.09 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, A Distance Of 119.97 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds West, A Distance Of 100.00 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, 6.00 Feet To A Point Marking The Beginning Of A Tangent Curve, Having A Radius Of 50.00 Feet To The Right; Thence Along The Arc Of Said Curve Through A Central Angle Of 17 Degrees 45 Minutes 10 Seconds, Having An Arc Distance Of 15.49 Feet To A Point Of Reverse Curvature Marking The Beginning Of A Tangent Curve, The Central Point Of Which Bears North 70 Degrees 14 Minutes 50 Seconds West, 50.00 Feet; Thence Northwest, Along The Arc Of Said Curve Through A Central Angle Of 105 Degrees 49 Minutes 55 Seconds, Having An Arc Distance Of 101.59 Feet To A Point On The Northerly Boundary Of Said Lot 8 And Point Of Cusp Marking The Beginning Of A Curve, The Central Point Of Which Bears South

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03 Degrees 55 Minutes 15 Seconds West, 950.00 Feet; Thence Southeasterly Along Said Boundary And Along The Arc Of Said Curve Through A Central Angle Of 12 Degrees 34 Minutes 45 Seconds, Having An Arc Distance Of 208.57 Feet; Thence The Following Courses And Distances Along Said Boundary; South 73 Degrees 30 Minutes 00 Seconds East, A Distance Of 907.59 Feet; South 16 Degrees 30 Minutes 00 Seconds West, A Distance Of 150.00 Feet; South 73 Degrees 30 Minutes 00 Seconds East, A Distance Of 44.93 Feet; South 00 Degrees 00 Minutes 00 Seconds West, A Distance Of 208.58 Feet To The Point Of Beginning. Parcel No. 5: That Portion Of Lot 8 Of Survey Plat Of Tierra Grande Country Club Estates, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Cabinet A, Slides 22 And 23 And Situated In Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Beginning At The Northerly Corner Of Said Lot 8, Lying On A Southerly Line Of Lot 3 Of Said Tierra Grande Country Club Estates, Said Corner Lying North 88 Degrees 00 Minutes 00 Seconds West, As Measured Along The Boundary Of Said Lot 3, A Distance Of 100.00 Feet From The Southeast Corner Of Said Lot 3; Thence South 88 Degrees 00 Minutes 00 Seconds East, Along That Boundary Common To Said Lot 8 And Lot 3, A Distance Of 30.00 Feet; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 169.92 Feet To A Point On The Boundary Of Said Lot 8; Thence North 21 Degrees 13 Minutes 18 Seconds West, Along Said Boundary, A Distance Of 76.09 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, Along Said Boundary, A Distance Of 100.00 Feet To The Point Of Beginning. Parcel No. 6: That Portion Of Lot 8, Of Survey Plat Of Tierra Grande Country Club Estates, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Cabinet A, Slides 22 And 23 And Situated In Section 36, Township 6 South, Range 7 East Of The Gila And Salt River Meridian, Pinal County, Arizona, Described As Follows: Beginning At The Southeast Corner Of Lot 2 Of Said Tierra Grande Country Club Estates Being On The Northerly Right Of Way Line Of Ultima Boulevard And Also Being At An Angle Point Of Lot 8 Of Said Tierra Grande Country Club Estates; Thence North 18 Degrees 03 Minutes 00 Seconds East Along A Line Common To Said Lot 2 And Said Lot 8, A Distance Of 315.00 Feet; Thence North 21 Degrees 13 Minutes 18 Seconds West Along The Boundary Line Of Said Lot 8, A Distance Of 26.44 Feet; Thence North 02 Degrees 00 Minutes 00 Seconds East, A Distance Of 169.92 Feet To The Northerly Line Of Said Lot 8 And The Southerly Line Of Lot 3 Of Said Tierra Grande Country Club Estates; Thence South 88 Degrees 00 Minutes 00 Seconds East Along Said Northerly Line, A Distance Of 70.00 Feet To An Angle Point Of Said Lot 8; Thence North 02 Degrees 00 Minutes 00 Seconds East Along A Common Line Of Said Lot 3 And Lot 8, A Distance Of 50.00 Feet To The Beginning Of A Non-Tangent Curve, The Central Point Of Which Bears South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 950.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 01 Degrees 55 Minutes 14 Seconds Having An Arc Distance Of 31.85 Feet To The Beginning Of A Tangent Curve, The Central Point Of Which Bears South 03 Degrees 55 Minutes 11 Seconds West, A Distance Of 55.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 105 Degrees 49 Minutes 50

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101.59 Feet To The Beginning Of A Tangent Reverse Curve, The Central Point Of Which Bears South 70 Degrees 14 Minutes 59 Seconds East, A Distance Of 50.00 Feet; Thence Southwest, Along The Arc Of Said Curve Through A Central Angle Of 17 Degrees 45 Minutes 01 Seconds, Having An Arc Distance Of 15.49 Feet To A Tangent Line; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 6.00 Feet; Thence South 88 Degrees 00 Minutes 00 Seconds East, A Distance Of 100.00 Feet; Thence South 02 Degrees 00 Minutes 00 Seconds West, A Distance Of 119.97 Feet To The Beginning Of A Tangent Curve, The Central Point Of Which Bears North 88 Degrees 00 Minutes 00 Seconds West, A Distance Of 725.00 Feet; Thence Southeasterly Along The Arc Of Said Curve Through A Central Angle Of 16 Degrees 03 Minutes 00 Seconds, Having An Arc Distance Of 203.09 Feet To A Tangent Line; Thence South 18 Degrees 03 Minutes 00 Seconds West, A Distance Of 203.71 Feet To The Northerly Right Of Way Line Of Said Ultima Boulevard Being A Non Tangent Curve, The Central Point Of Which Bears North 13 Degrees 20 Minutes 25 Seconds East, A Distance Of 1960.00 Feet; Thence Northwest, Along The Arc Of Said Curve Through A Central Angle Of 04 Degrees 42 Minutes 35 Seconds, Having An Arc Distance Of 161.12 Feet To A Tangent Line; Thence North 71 Degrees 57 Minutes 00 Seconds West Along Said Right-Of-Way Line, A Distance Of 89.06 Feet To The Point Of Beginning. Parcel No. 7: Tract "A", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39. Except That Portion Described As Follows: Beginning At The Southwest Corner Of Said Tract "A", Thence North 00 Degrees 00 Minutes 32 Seconds East, Along The West Line Of Said Tract "A", A Distance Of 388.80 Feet To The Northwest Corner Of Said Tract "A", Said Point Being The Beginning Of A Curve Concave Northerly, The Center Of Which Bears North 13 Degrees 28 Minutes 28 Seconds East, A Distance Of 225.00 Feet; Thence Easterly Along The Northerly Boundary Of Said Tract "A" And Along The Arc Of Said Curve Through A Central Angle Of 29 Degrees 56 Minutes 21 Seconds And A Distance Of 117.57 Feet; Thence North 73 Degrees 32 Minutes 07 Seconds East Along The Northerly Boundary Of Said Tract "A", A Distance Of 361.93 Feet; Thence South, A Distance Of 238.66 Feet To A Point On The Southerly Boundary Of Said Tract "A", Said Point Lying On A Curve Concave Southerly, The Center Of Which Bears South 06 Degrees 18 Minutes 53 Seconds West, A Distance Of 285.00 Feet; Thence Southwest, Along The Aforementioned Boundary Line And Along The Arc Of Said Curve Through A Central Angle Of 49 Degrees 36 Minutes 39 Seconds And A Distance Of 246.77 Feet; Thence South 46 Degrees 42 Minutes 14 Seconds West Along The Aforementioned Boundary Line, A Distance Of 155.31 Feet To The Point Of Beginning Of A Tangent Curve Concave Northwest, With A Radius Of 330.00 Feet; Thence Southwest, Along The Aforementioned Boundary Line And Along The Arc Of Said Curve Through A Central Angle Of 25 Degrees 08 Minutes 54 Seconds And A Distance Of 144.84 Feet To The Point Of Beginning. Parcel No. 8: Tract "B", Of Tierra Grande Country Club Estates Unit I, According To The Plat Of Record In The Office Of The County Recorder Of Pinal County, Arizona, Recorded In Book 19 Of Maps, Page 39. **MINER Legal 9/4/19, 9/11/19, 9/18/19, 9/25/19**

## Public Notice

NOTICE (for publication) ARTICLES OF ORGANIZATION HAVE BEEN FILED IN THE OFFICE OF THE ARIZONA CORPORATION COMMISSION FOR I Name: JD RENTS, LLC II The address of the registered office is: 6591 E Shamrock St, Florence AZ 85132. The name and address of the Statutory Agent is: Lance S. Davidson, P.C., 9590 E Ironwood Square, Suite 110, Scottsdale AZ 85258. III Management of the limited liability company is vested in a manager or managers. The names and addresses of each person who is a manager AND each member who owns a twenty percent or greater interest in the capital or profits of the limited liability company are: John C. Dertinger, Member & Manager, 6591 E Shamrock St, Florence AZ 85132  
**MINER Legal 8/21/19, 8/28/19, 9/4/19**

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## Public Notice

### TS# 19-085 Pinal County Notice Of Trustee's Sale

Recorded: 07/12/2019 The following legally described trust property will be sold, pursuant to the power of sale under that certain Deed of Trust recorded on 08-11-2017 in Pinal County, Arizona Recorder's number 2017-057602. NOTICE! IF YOU BELIEVE THERE IS A DEFENSE TO THE TRUSTEE'S SALE OR IF YOU HAVE AN OBJECTION TO THE TRUSTEE'S SALE, YOU MUST FILE AN ACTION AND OBTAIN A COURT ORDER PURSUANT TO RULE 65, ARIZONA RULES OF CIVIL PROCEDURE, STOPPING THE SALE NO LATER THAN 5 PM MOUNTAIN STANDARD TIME OF THE LAST BUSINESS DAY BEFORE THE SCHEDULED DATE OF THE SALE, OR YOU MAY HAVE WAIVED ANY DEFENSES OR OBJECTIONS TO THE SALE, UNLESS YOU OBTAIN AN ORDER, THE SALE WILL BE FINAL AND WILL OCCUR AT PUBLIC AUCTION TO THE HIGHEST BIDDER AT THE AT THE COURTYARD BY THE MAIN ENTRANCE TO THE ARIZONA SUPERIOR COURT BUILDING, 971 JASON LOPEZ CIRCLE, BUILDING A, FLORENCE, ARIZONA 85132 ON OCTOBER 11, 2019, 11:00 AM ARIZONA TIME: Lot 10, Block 5, Bennett's Second Addition, according to the plat of record in the office of the county recorder of Pinal County, Arizona recorded in Book 1 of Maps, Page 19, According To The Deed Of Trust Or Information Supplied By The Beneficiary. The Following Information Is Provided Pursuant To A.R.S. § 33-808 (C): Name And Address Of Trustor: Batmann Enterprises, LLC, an Arizona limited liability company, 951 E. McKellips Rd. Tempe, AZ 85281. Original Principal Balance: \$49,200.00 Tax Parcel Number: 504-23-0390. Identifiable Location: 519 W. 11th St. Casa Grande, AZ 85122. Name And Address Of Beneficiary: SWH Funding, LLC, an Arizona limited liability company, 1649 E. Bethany Home Road Phoenix, AZ 85016. Name And Address Of Trustee (as of date of recording of sale): Ronald B. Herb, licensed real estate broker 5420 W Onyx Ave. Glendale, AZ 85302. 602-488-1349 ronaldherb@gmail.com Qualifications To Be Trustee: Licensed Real Estate Broker in Arizona. Agency Regulation Trustee: Arizona Dept. of Real Estate. Dated this 7-12-2019 /s/ Ronald B. Herb-Trustee State Of Arizona ) ) ss County Of Maricopa ) Acknowledged before me on 7-12-2019 by Ronald B. Herb, licensed real estate broker and trustee of the above described deed of trust. /s/ Sheri L. Morris Notary Public My Commission Expires November 27, 2020  
**MINER Legal 8/21/19, 8/28/19, 9/4/19, 9/11/19**

## Public Notice

### Articles of Incorporation of Quite Builders, Inc.

Article I Name: The name of the corporation is: Quite Builders, Inc. Article II Purpose: The purpose for which this corporation is organized is the transaction of any and all lawful business for which corporations may be incorporated under the laws of Arizona, as they may be amended from time to time. Article III Initial Business: The corporation initially intends to conduct the business of: Dual Residential And Small Commercial contracting. Article IV Authorized Capital: The Corporation shall have the authority to issue 10,000 shares of common stock. Article V Known Place Of Business: The street address of the known place of business of the Corporation in Arizona is: 169 S Ironwood Dr, Apache Junction, AZ 85120. Article VI Statutory Agent: The name and address of the statutory agent in Arizona is: Catalina Cazares 169 S Ironwood Dr, Apache Junction, AZ 85120. Article VII Board Of Directors: The initial board of directors shall consist of 3 directors. The names and addresses of the persons who shall serve as the directors until the first annual meeting of shareholders or until a successor is elected and qualified are: Catalina Cazares, 169 S Ironwood Dr, Apache Junction, AZ 85120; William Herbert Giardina, 1869 W 6th St, Mesa, AZ 85201; Patrick Don Maez, 662 E Holmes Ave, Mesa, AZ 85204. The number of directors thereafter shall be fixed by the bylaws. Article VIII Officers: The initial officers who shall serve at the pleasure of the board of directors are: Catalina Cazares, 169 S Ironwood Dr, Apache Junction, AZ 85120 – VP; William Herbert Giardina, 1869 W 6th St, Mesa, AZ 85201 – President; Patrick Don Maez, 662 E Holmes Ave, Mesa, AZ 85204 – Secretary. Article IX Incorporators: The names and addresses of the incorporators are: Patrick Don Maez, 662 E Holmes Ave, Mesa, AZ 85204. All powers, duties and responsibilities of the incorporators shall cease at the time of delivery of these Articles of Incorporation to the Arizona Corporation Commission. Article X Indemnification Of Officers: The Corporation shall indemnify any person that incurs expenses or liabilities by reason of the fact he or she is or was an officer, director, employee or agent of the corporation or is or was serving at the request of the corporation as an officer, director, employee or agent of another corporation, partnership, joint venture, trust or other enterprise. This indemnification shall be mandatory in all circumstances in which indemnification is permitted by law. Article XI Limitation Of Liability: To the fullest extent permitted by the Arizona revised Statutes as the same exist or may hereafter be amended, a director of the Corporation shall not be liable to the Corporation or its shareholders for monetary damages for any action as a director. No repeal, amendment or modification of this Article, whether direct or indirect, shall eliminate or reduce its effect with respect to any act or omission of a director of the Corporation occurring prior to such repeal, amendment or modification. Executed this 23rd day of July, 2019 by all of the incorporators. /s/ Patrick Don Maez Signed This Date: 07/23/2019 Acceptance of Appointment of Statutory Agent: The undersigned hereby acknowledges and accepts the appointment as statutory agent of the above-named corporation executed this 23rd day of July, 2019. Signed /s/ Catalina Cazares  
**MINER Legal 8/21/19, 8/28/19, 9/4/19**

## Public Notice

### NOTICE OF TRUSTEE'S SALE

The following legally described trust property will be sold, pursuant to the power of Sale under that certain Deed of Trust dated 9/16/2014 and recorded on 10/7/2014 in Instrument #2014-057744 in the office of the County Recorder of Pinal County, Arizona. NOTICE! IF YOU BELIEVE THERE IS A DEFENSE TO THE TRUSTEE SALE OR IF YOU HAVE AN OBJECTION TO THE TRUSTEE SALE, YOU MUST FILE AN ACTION AND OBTAIN A COURT ORDER PURSUANT TO RULE 65, ARIZONA RULES OF CIVIL PROCEDURE, STOPPING THE SALE NO LATER THAN 5:00 P.M. MOUNTAIN STANDARD TIME OF THE LAST BUSINESS DAY BEFORE THE SCHEDULED DATE OF THE SALE, OR YOU MAY HAVE WAIVED ANY DEFENSES OR OBJECTIONS TO THE SALE. UNLESS YOU OBTAIN AN ORDER, THE SALE WILL BE FINAL AND WILL OCCUR at public auction to the highest bidder at the main entrance to the Superior Court Building, 971 Jason Lopez Circle, Florence, AZ 85232, on 11/13/2019 at 11:00 AM of said day: The West 186 feet of the East 371 feet of the North half of the Southwest quarter of the Southwest quarter of the Northeast quarter of Section 25, Township 1 North, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona; Except the North 25 feet thereof; and Except all coal and other minerals as reserved in Patent from United States of America. The successor trustee appointed herein qualifies as trustee of the Trust Deed in the trustee's capacity as an attorney and member of the State Bar of Arizona as required by ARS Section 33-803, Subsection A(2). Name of Trustee's Regulator: State Bar of Arizona ACCORDING TO THE DEED OF TRUST OR UPON INFORMATION SUPPLIED BY THE BENEFICIARY, THE FOLLOWING INFORMATION IS PROVIDED PURSUANT TO A.R.S. SECTION 33-808(C): Street address or identifiable location: 5729 E. 14th Ave, Apache Junction, AZ 85119 A.P.N.: 103-12-032 Original Principal Balance: \$437,950.00 Name and address of original trustor: (as shown on the Deed of Trust) Eddie Valdez and Vivian Valdez, 5729 E. 14th Ave, Apache Junction, AZ 85119. Name and address of beneficiary: (as of recording of Notice of Sale) BMO Harris Bank N.A., 180 N. Executive Dr., Brookfield, WI 53005. NAME, ADDRESS & TELEPHONE NUMBER OF TRUSTEE: (as of recording of Notice of Sale) Larry O. Folks Folks Hess Kass, PLLC 1850 N. Central Ave, #1140 Phoenix, Arizona 85004 (602)262-2265 Fax requests for sale information to: (602) 256-9101. Sales information is also available online at: www.AzDefaultLegalServices.com Dated: 8/13/2019 /s/ Larry O. Folks, a member of the State Bar of Arizona, as required by A.R.S. § 33-803, Subsection (A)(2) State of Arizona ) ) ss. County of Maricopa ) On 8/13/2019 before me, Carmen K. Ruff, Notary Public, personally appeared Larry O. Folks personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/ are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacities), and that by his/ her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument IN WITNESS WHEREOF I hereunto set my hand and official seal. /s/ Carmen K. Ruff Commission Expires 2/12/2021  
**MINER Legal 8/28/19, 9/4/19, 9/11/19, 9/18/19**

## Public Notice

### Trustee Sale No: 2019-106164 Notice Of Trustee's Sale

Recorded: 07/19/2019 NOTICE! IF YOU BELIEVE THERE IS A DEFENSE TO THE TRUSTEE SALE OR IF YOU HAVE AN OBJECTION TO THE TRUSTEE SALE, YOU MUST FILE AN ACTION AND OBTAIN A COURT ORDER PURSUANT TO RULE 65, ARIZONA RULES OF CIVIL PROCEDURE, STOPPING THE SALE NO LATER THAN 5:00 P.M. MOUNTAIN STANDARD TIME OF THE LAST BUSINESS DAY BEFORE THE SCHEDULED SALE DATE OF THE SALE, OR YOU MAY HAVE WAIVED ANY DEFENSES OR OBJECTIONS TO THE SALE. UNLESS YOU OBTAIN AN ORDER, THE SALE WILL BE FINAL. The following legally described trust property will be sold, pursuant to the power of sale under that certain Deed of Trust dated 1/23/2018, and recorded on 1/24/2018 as Instrument No. 2018-005313, rerecorded on 07/16/2019 as Instrument No. 2019-057086, Records of Pinal County, Arizona at public auction to the highest bidder at the main entrance to the Superior Court Building., 971 N. Jason Lopez Circle, Building A, Florence, Arizona on 10/18/2019 at 11:00 AM of said day; Legal: Lot 165, Parcel 7 of The Villages At Rancho El Dorado, according to Cabinet D, Slide 194, records of Pinal County, Arizona. The street address is purported to be: 43690 West Oster Drive Maricopa, Arizona 85138 Tax Parcel Number: 512-08-3410 Original Principal Balance: \$142,000.00 Name and address of original Trustor: Agustin Moreno Loza, an unmarried man and Gloria Valdez Morales, an unmarried woman 53754 W. Stallon Road Maricopa, Arizona 85139 Name and address of the Beneficiary: Santa Rosa Investments, LLC, an Arizona limited liability company 3801 E. Indian School Rd. Phoenix, Arizona 85018 Name and address of Trustee: Empire West Title Agency, LLC 4808 N. 22nd Street, Suite 100 Phoenix, Arizona 85016 Conveyance of the property shall be without warranty, expressed or implied, and subject to all liens, claims or interest having a priority senior to the Deed of Trust. The Trustee shall not express an opinion as to the condition of title. All persons whose interest in the Trust Property is subordinate in priority to that of the above described Deed of Trust may be subject to having such subordinate interest terminated by this Trustee's Sale. Sale Information: 602-749-7000 Dated: 7/19/2019 Empire West Title Agency, LLC an Arizona limited liability company /s/ Sheri L. Morris, Trustee Sale Officer We are assisting the Beneficiary to collect a debt and any information we obtain will be used for that purpose. Manner Of Trustee Qualification: 33-803 A.R.S. (A) (1) Regulator: The Department of Financial Institutions State Of Arizona ) ) ss. County of Maricopa ) On 7/19/2019 before me, the undersigned notary public, personally appeared Sheri L. Morris, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person or the entity upon behalf of which the person acted, executed the instrument. Witness my hand and official seal. Commission Expires: 1/22/2020 /s/ Antoinette A. Johnson, Notary Public  
**MINER Legal 8/14/19, 8/21/19, 8/28/19, 9/4/19**

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**20. Help Wanted****DISPATCHER**

The Town of Kearny Police Department is accepting applications for the position of full-time dispatcher. Applications are available at the Kearny Town Hall, 912-C Tilbury Drive, Kearny, AZ 7:00 a.m. - 5:30 p.m.  
*The Town of Kearny is in EEOC employer.*

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**45. Misc.**

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The Superior Sun is seeking carriers for various routes in Superior.  
Call 480-620-5401.  
Ask for James.

**50. Mobile Homes**

For Sale: 1 Bedroom Trailer \$700.00 - Ideal for a single working person. Kitchen, living room. Space rent \$275 per month with utilities (lights, water, trash pickup). Located at Jolly Roundup Trailer Park, Dudleyville, AZ Space #9.  
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**80. Rentals**

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- **315 Alta Vista** 2 bdrm 1 ba home. Nicely remodeled with enlarged kitchen. A/C and great views. \$69,900
- **908 5th Ave.** 3 bdrm 2 ba. Great home with newer flooring, paint, roof, remodeled baths and kitchen, A/C. Must see! \$94,900
- **1002 Webb Dr.** 4 bdrm 2 ba. Great corner lot. Being sold as-is. \$70,000
- **213 Ave A** 3 bdrm 1 ba home new floor **SOLD** and all appliances. Fenced back yard, large covered patio. Must see! \$77,500
- **315 McNab Pkwy** 3 bdrm 1 ba home - **SALE PENDING** - awesome views, fenced back yard, ceramic tile flooring, fresh paint inside, appliances included. Must see! \$83,500
- **REDUCED - 902 Webb Dr.** Beautiful 3 bdrm 2 ba home on large corner lot. Low maintenance landscape in front and trees, grass and shrubs in back. 2 car garage, great patios and lots of storage. **SOLD** \$142,000
- **608 Webb** 3 bdrm 1 bath. this spacious home has an enlarged master bedroom and living room, remodeled kitchen **SALE PENDING** Fenced back yard with lots of storage and a workshop. Must see! \$81,900
- **REDUCED - 907 1st Ave.** 3 bdrm 1 3/4 ba home with detached garage. Backs to desert and has a brick fireplace in back. Wood look tile and ceramic tile flooring, stainless appliances. Fenced back yard. Must see! \$95,000
- **932 5th Ave.** 4 bdrm 2 bath on large corner lot. Remodeled home with ceramic tile flooring. Includes appliances. New upgrades, flooring, windows, doors and more! Must see! \$108,900

**COMMERCIAL**

- **136 8th Ave.** Great commercial building. 5000 sq. ft. on .35 ac. \$200,000. Call for terms available.

**MAMMOTH**

- **19931 S. Sterling** Beautiful Santa Fe style home. 3 Bdrm 3 baths with huge living room w. fireplace, large kitchen, family room w. fireplace, double car garage and 5 acres of beauty. Has own well. Must see! \$480,000

**ORACLE**

- **575 Camino Yucca** Must see this lovely 3 bdrm 2 ba home. Completely remodeled with new flooring, kitchen with appliances, remodeled bathrooms and large lot. \$205,000

**Amy Whatton Broker**  
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**Town of Superior Wastewater Treatment Plant Operator I**

The Town of Superior has an opening at the Wastewater Treatment Plant for a Wastewater Treatment Plant Operator I. Full job description is at Superior Town Hall. Applications are on the website, or call Superior Town Hall, 520-689-5752, 199 N. Lobb. Ave., Superior AZ 85173. First review of applications is July 15, 2019. Applications will be taken until job is filled. Superior is an Equal Opportunity Employer.

# San Manuel Jr. High posts close win over San Carlos, 48-40



San Manuel's Jesus Lopez (#12) running the ball in the win over San Carlos.

M. Schofield | SMHS



The San Manuel Jr. High Cheerleaders.

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Nico Velasquez touchdown as the San Carlos player catches up with him.

M. Schofield | SMHS



Nico Velasquez running the ball for another touchdown.

M. Schofield | SMHS